

ROCK COUNTY, WISCONSIN



NOTE:
This is a Teleconference Meeting

GENERAL SERVICES COMMITTEE
TUESDAY, MARCH 16, 2021 – 7:30 A.M.
CALL: 1-312-626-6799
MEETING ID: 873 4255 6960
PASSCODE: 416937

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If you are interested in providing public comments on items on this agenda, you must submit your comments by 3:00 p.m. on Monday, March 15, 2021. To submit a public comment use the following email: vanzandt@co.rock.wi.us.

Join from a telephone:

- On your phone, dial the phone number provided above
- Enter the meeting ID number when prompted, using your dial-pad.
- Please note that long-distance charges may apply. This is not a toll-free number.

Supervisors: Please identify yourself by name

- Please mute your phone when you are not speaking to minimize background noises
- We are new at holding meetings this way, so please be patient

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**GENERAL SERVICES COMMITTEE
TUESDAY, MARCH 16, 2021 – 7:30 A.M.**

Agenda

1. Call to Order
2. Approve Agenda
3. Public Comment
4. Approval of Minutes – March 2, 2021
5. Transfers
6. Review of Payments
7. Resolutions and Committee Approval
 - A. Awarding Contract for the Curling Club and Public Restrooms Roof Retrofit and Replacement
 - B. Approval to Purchase – Open work stations from our contracted furniture supplier
8. Reports, Updates, Discussion and Possible Action
 - A. Update on Dr. Daniel Hale Williams Rock County Resource Center Project
 - 1) Approval of Change Orders
 - Change Order #6 \$493,741
 - 2) Schedule
 - B. Next Steps for Job Center Building Once it is Vacant
9. Communications, Announcements and Information
10. Adjournment

The County of Rock will provide reasonable accommodations to people with disabilities. Please contact us at 608-757-5510 or e-mail countyadmin@co.rock.wi.us at least 48 hours prior to a public meeting to discuss any accommodations that may be necessary.



GENERAL SERVICES COMMITTEE
Minutes – March 2, 2021

Call to Order. Chair Potter called the meeting of the General Services Committee to order at 7:34 A.M., Tuesday, March 2, 2021 at the DPW Garage, 3503 E. CTY RD S, Beloit, WI.

Committee Members Present: Supervisors Potter, Wilson, Homan and Brien.

Committee Members Absent: Supervisor Fox.

Staff Members Present: Randy Terronez, Assistant to the County Administrator; Brent Sutherland, Facilities Management Director; Dave Froeber and Mike Parille, Facilities Superintendents, and Duane Jorgenson, DPW Director.

Others Present: Brian Zobel, UW Whitewater at Rock County.

Approval of Agenda. Supervisor Homan moved approval of the agenda, second by Supervisor Wilson. ADOPTED.

Approval of Minutes – February 16, 2021. Supervisor Brien moved approval of the minutes of February 16, 2021 as presented, second by Supervisor Homan. ADOPTED.

Public Comment. No comments were submitted.

Transfers. None.

Review of Payments. The committee reviewed the payments.

Resolutions and Committee Approval

Awarding Contract for the DPW Wash Bay Renovations

“NOW, THEREFORE, BE IT RESOLVED, that the Rock County Board of Supervisors duly assembled this _____ day of _____, 2021 does hereby approve and authorize awarding a contract in the amount of \$185,225.00 to Advanced Building Corporation of McFarland, Wisconsin, for the DPW Wash Bay Renovations.

BE IT FURTHER RESOLVED, that a \$9,250.00 contingency also be approved to cover any unforeseen items.”

Supervisor Brien moved approval of the above resolution, second by Supervisor Homan as amended – Line 10 replace \$185,225,000 with \$185,225.00. ADOPTED.

Awarding Contract for Engineering for Boiler Replacements and Energy Efficiency Upgrades at Rock County Courthouse

“NOW, THEREFORE, BE IT RESOLVED by the Rock County Board of Supervisors duly assembled this _____ day of _____, 2021, and awards a contract for engineering to replace boilers and provide energy efficiency improvements at the Rock County Courthouse in the amount of \$29,000.00, to Johnson Controls, Inc., of Madison, WI.”

Supervisor Wilson moved approval of the above resolution, second by Supervisor Brien.
ADOPTED.

Updates, Discussion and Possible Action.

Update on Dr. Daniel Hale Williams Rock County Resource Center Project

Approval of Change Orders Mr. Sutherland distributed Change Order # 5 in the amount of \$34,600 and consisted of HVAC bipolar ionization units (\$30,000) and TV monitor installation (\$4,600) and covers the purchase/installation.

Supervisor Wilson moved approval of Change Order #5 in the amount of \$34,600.00, second by Supervisor Brien. ADOPTED

Schedule Mr. Sutherland reported that the project is on schedule for substantial completion in July.

Update on DPW Garage at Shopiere

Approval of Change Order. Mr. Sutherland distributed Change Order #26 in the amount of \$502.70 and consisted of electrical connection to Hand Wash Sink.

Supervisor Homan moved approval of Change Order #26 in the amount of \$502.70 second by Supervisor Wilson. ADOPTED

Denied Change Orders Mr. Sutherland distributed handouts and reviewed with the Committee the background for the following denied change orders.

- Change Order #9 Salt Storage Foundation Extras for Rebar and Concrete \$33,385.19
- Change Order #22 Concrete heat charges and additives \$10,798.63
- Change Order #23 Temporary Heat \$13,083.61

If not informally resolved, the County used a construction contract that calls for disputes over change orders to be taken to a court proceeding.

Schedule Mr. Sutherland reported that some final items are yet to be completed.

Courthouse Fire Alarm System Upgrade Given the project covers the equipment/supplies and labor with the County acting as the general contractor, Mr. Sutherland reviewed the following Change Orders:

- Change Order #1 Omni Technologies LLC \$9,981.51 Design Change-equipment

Supervisor Homan moved approval of Change Order #1 Omni Technologies LLC in the amount of \$9,981.51 second by Supervisor Wilson. ADOPTED

- Change Order #1 Electric Construction, Inc. \$17,803.94 Design change-labor

Supervisor Homan moved approval of Change Order #1 Electric Construction, Inc. in the amount of \$17,803.94 second by Supervisor Wilson. ADOPTED

Next Steps for Job Center Building Once it is Vacant

Mr. Sutherland reported that per direction given at the last Committee meeting, he plans on bringing a proposal for a real estate broker to the next Committee meeting.

Master Electrician Update Mr. Sutherland informed the Committee that the individual hired no longer is employed with the County. The department will be recruiting for a journeyman-level electrician with the requirement that the hired individual get their master electrician license within 2 years of employment.

Communications, Announcements and Information. Duane Jorgenson, DPW Director introduced himself to the Committee and thanked the Committee and Brent Sutherland/Facilities Management staff for the Shopiere Garage construction. It will be a great addition to DPW operations.

Tour of DPW Shopiere Garage Facility Mr. Sutherland and Duane Jorgenson, DPW Director led the Committee on a tour of the facility. (Note: Chair Potter left the meeting at 9:00 a.m.)

Adjournment. Supervisor Wilson moved adjournment at 9:06 A.M., second by Supervisor Homan. ADOPTED.

Respectfully submitted,

Randy Terronez
Assistant to the County Administrator

NOT OFFICIAL UNTIL APPROVED BY COMMITTEE



COUNTY OF ROCK, WISCONSIN CHANGE
ORDER FORM

CHANGE ORDER NUMBER	26
PROJECT NUMBER	2020-25
PROJECT NAME	New Vehicle Storage Building and Site Improvements Rock County
PURCHASE ORDER NUMBER	P2001461
CONTRACTOR NAME	Corporate Contractors Inc
ARCHITECT FIRM & CONTACT	Angus-Young Associates, Inc. Bradley Werginz B.Werginz@angusyoung.com
A/E JOB NUMBER	61670
DISTRIBUTION	OWNER Brent.Sutherland@co.rock.wi.us CONTRACTOR Dylan.Adel@ccwi.com FILE _____ OTHER B.Werginz@angusyoung.com
<i>We propose to provide the following change (s) to our contract for the above reference Project, with the contract amount being adjusted by Contract Change Order amount (s) stated below.</i>	
DESCRIPTION: RFI 49 - Electrical connection to Hand Wash Sink	
ORIGINAL CONTRACT SUM	\$4,241,500.00
PREVIOUS CHANGE ORDERS AMOUNT	\$ 210,620.77
CURRENT CHANGE ORDER AMOUNT	\$502.70
NEW CONTRACT SUM	\$ 4,452,623.47
CONTRACTOR SIGNATURE	
OWNER SIGNATURE	<i>Brent Sutherland</i>

ARCHITECT / ENGINEER SIGNATURE	2.26.21
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COUNTY OF ROCK, WISCONSIN CHANGE ORDER FORM

CHANGE ORDER NUMBER	#5
PROJECT NUMBER	JPC- 5889
PROJECT NAME	Rock County Human Services Building
PURCHASE ORDER NUMBER	
ARCHITECT FIRM & CONTACT	Venture Architect Jack Blume
A/E JOB NUMBER	
DISTRIBUTION	OWNER _____ CONTRACTOR _____ FILE _____ OTHER _____
<i>We propose to provide the following change (s) to our contract for the above reference Project, with the contract amount being adjusted by Contract Change Order amount (s) stated below.</i>	
DESCRIPTION: <ul style="list-style-type: none">- Installation of HVAC Air Filtration Equipment – Bipolar Ionization GPS Units \$30,000- Installation of 46 Owner Provided Wall Mounted TVs Delivered to Rooms by Others- \$4,600- Contract Amount Previous to CO#5 \$21,233,705	
ORIGINAL CONTRACT SUM	\$21,531,921
PREVIOUS CHANGE ORDERS AMOUNT	credit of (\$298,216)
CURRENT CHANGE ORDER AMOUNT	\$34,600
NEW CONTRACT SUM	\$21,268,305
CONTRACTOR SIGNATURE	<i>Jack Blume</i>
OWNER SIGNATURE	
ARCHITECT/ENGINEER SIGNATURE	

Handout
3-2-21

Rock County DPW Shopiere garage approved and denied Change orders are below.

- CO#1 \$20,072.26 RFP01 REV01 moving the building
- CO#2 \$ -325 credit RFP02
- CO#3 \$12,865.70 Undercut vehicle storage building
- CO#4 \$2,919.40 dewatering
- CO#5 \$1,320 add gate stiffeners
- CO#6 \$ 61,344.92 salt shed undercut due to poor soil conditions
- CO#7 \$\$3,614.44 sanitary drain revisions
- CO#8 \$ \$2,251.54 add additional microwave circuits
- CO#9 (CCI Pending Change order # 8) Denied \$33,385.30 for extra concrete and rebar for the salt shed**
- CO#10 \$ 3,740.00 Salt shed foundation sealer
- CO#11 \$ 5,414.52 RFP 5 requested asphalt removal initiated by Angus Young
- CO#12 \$26,555.10 adding the holding tank
- CO#13 \$39,778.75 Undercut inside of the salt shed
- CO#14 \$ 1,320 direct burial of loops verses saw cut
- CO#15-(**CCI Pending Change order # 16**) \$4,167.46 additional work per plans on Sheet C101
- CO#16- \$5,458.96 cone ties and labor
- CO#17- \$3,084.05 Electrical feed for septic tank alarm
- CO#18- \$1,294.17 Rough in for 5 thermostat
- CO#19- \$957.43 Mezzanine floor had to be poured thicker than the plan- Extra Concrete
- CO#20- \$1,337.36 Exit /EM lighting for Salt shed
- CO#21- \$2,551.12 Alternate Wash bay doors
- CO#22- (CCI Pending Change order # 23) Denied \$10, 798.63 Concrete heat charges and additives**
- CO#23 (CCI Pending Change order # 24) Denied \$13,082.61 Temp Heat**
- CO CO##23- \$14,960. Adding Sno- Guard to salt shed roof. Goes to committee tomorrow 2/16 for approval (I signed and gave approval before getting the required committee approval on error)
- CO#24-- \$ 1,526.05 adding transformer for air compressor 115 V power supply
- CO#25- \$ -1,320 credit to not install the gate stiffener initiated by CO #5
- CO#25 (CCI Pending Change order # 27) \$2,591.34 Denied additional access controls**

Brent Sutherland

From: Brent Sutherland
Sent: Tuesday, January 26, 2021 10:17 AM
To: 'Jennifer Holmes'
Cc: Dylan Adel; Tatiana Arreguin
Subject: RE: RCVSB Change Order Form 23
Attachments: RCVSB Change Order Form 23.pdf

Dylan,

I will not approve the attached Change order. Below is the section in the specifications showing this to be your responsibility. I am not happy with the direction you are heading with change orders.

3. General Contractor:
 - a. Provide temporary window and door closures as required and closures for all other temporary openings. Supervise effectiveness of all closures and see that every reasonable precaution is used to prevent escape of heat.
 - b. Permanent heating system may be used for temporary heating once the permanent heating system, heating controls, concrete installation, concrete curing, concrete saw-cutting, and masonry saw-cutting have been completed.
 - c. If the permanent system is not operable and the building is enclosed and heating is required, then the General Contractor shall furnish and install a

New Vehicle Storage Building and Site Improvements
PROJECT 61670

01 50 00 - 2

TEMPORARY
FACILITIES AND CONTROLS

- d. temporary heating system.
 - d. All portable heating units shall be properly ventilated to prevent combustion gases from remaining in the heated area.
 - e. The General Contractor shall ascertain if temporary heating equipment will operate on the temporary electrical service available. If service is insufficient to operate equipment, the General Contractor shall make all other arrangements at no additional cost to the Owner.
 - f. The temporary heating system shall be removed by the General Contractor after the permanent heating system has been installed, is operating, and balanced. Temporary heating equipment shall be relocated by the General Contractor as required during construction to prevent interference with new construction.
 - g. Temperatures: Except as otherwise specified, a minimum temperature of 45 degrees F for the building shall be maintained until completion of the Project.
 - h. Operation: Supervise and be responsible for operation of temporary heating system as required by weather and building conditions through the duration of construction. Be responsible for maintenance of temporary heating systems during period of construction and do any emergency repair work required during temporary operation.
4. The Contractor shall pay for all fuel consumed and temporary heating equipment cost throughout the duration of construction until Substantial Completion at no additional cost to the Owner.

Thank you,

Brent's question,

Would you be so kind to answer a question in regards to a bid you submitted to Rock County #2020-25 New Vehicle storage building and site improvements for Rock County Department of Public works at 3503 E County Road S Beloit WI 53511 on May 19, 2020? You were a bidder. Our low bidder is asking for a change order for additional concrete and rebar costs for the salt shed foundation walls indicating his cement sub contract did not have the salt shed specifications at the time of the bid. My records show the general contractors were sent the attached specification on 5/13/2020. Did your subcontractor concrete cost in your bid for the salt shed include material and labor to build it according to the attached specifications? Was the attached specifications supplied to your concrete subcontractor by you? Thank you for your time.

PROJECTED TIMETABLE

Issue Invitation to Bid	04/21/2020
Questions Due	04/30/2020 – 12:00 noon
Amendments Issued by	05/07/2020 – 5:00 p.m.
Bids Due	05/19/2020 – 1:30 p.m.
Evaluation of Bids	05/19/2020 – 06/02/2020
Governing Committee Approval	06/02/2020
County Board Approval	06/11/2020

Response for other bidder,

I was actually quite surprised to hear back then we placed _____ on this one because we went after this project pretty aggressively. The answer to your question is YES, the alternate price that was provided included concrete and concrete reinforcing for the salt building (based off these plans). The attachments you just shared with me were also made available to all bidders during the bid. I recall they were to be considered as the basis of design for the foundations of the salt building. So of the \$_____ alternate price, approximately \$144K worth of concrete foundations were included in that price. My estimate shows that I figured approximately 25 tons of reinforcing steel and 320 CY of concrete for the salt building. I can see them asking for the difference in concrete or rebar if the final drawings were different then the plans you just sent me, however it would be extremely unfair to all the contractors who took the time to bid this project if they get away claiming that they didn't include the foundations. I recall CCI's base bid being around \$_____ less than mine and their alternate price was around \$_____ less. Looking back, their alternate price didn't concern me at the time but I'd say it's far more likely they had an error in their base bid estimate and they're just trying to make up for it here. Their base bid was way less than my cost so this actually makes a lot of sense to me now.

Good luck with this one and I hope this information was helpful. I would appreciate you keeping my candor and response confidential though.

Brent Sutherland

From: Bradley Werginz <B.Werginz@angusyoung.com>
Sent: Monday, November 30, 2020 3:04 PM
To: Brent Sutherland
Cc: Michael Parille; JODI MILLIS; Jim Shebesta; Duane Jorgenson
Subject: RE: Wheeler Quote: Rock County DPW - New Vehicle Storage Building and Site Improvements

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Brent,

Your assessment below, of the change order request is accurate.

The corrective measures taken, with the installation of the concrete buttresses, has brought the performance parameters of the salt shed loading back within the specified requirements.

Thank you,

BRADLEY WERGINZ

AIA
Principal Architect

O | 608.756.2326 // C | 608.751.7296
angusyoung.com // janesville | madison



From: Brent Sutherland <Brent.Sutherland@co.rock.wi.us>
Sent: Wednesday, November 25, 2020 5:19 PM
To: Bradley Werginz <B.Werginz@angusyoung.com>
Cc: Michael Parille <Michael.Parille@co.rock.wi.us>; JODI MILLIS <JODI.MILLIS@co.rock.wi.us>; Jim Shebesta <J.Shebesta@angusyoung.com>; Duane Jorgenson <Duane.Jorgenson@co.rock.wi.us>
Subject: FW: Wheeler Quote: Rock County DPW - New Vehicle Storage Building and Site Improvements
Importance: High

Bradley,

Jake requested we don't share this with others. He feels caught in the middle and does not want to tarnish relationships with CCI or Rock County. I told him I will keep it to on and as need to know basis. Keeping in mind we are a government agency and a records request could force us to share. Below and above is what was sent to the list below of those who requested specifications. Mike Magill with CCI did request the specifications. The ones supplied does show the required concrete and rebar. My conversation with Kevin and Dylan, they stated the concrete guy is residential and just starting in commercial does good work but is on sight and doing bidding and may not have caught it. Kevin showed me the plans on Page A050 it states the "Reinforced concrete "T" wall designed by building manufacturer, installed by General Contractor. Design to be provided by building supplier during the bidding process" Kevin stated the specs should have

been right on the A050 drawing so it did not get missed. Jake supplied the specifications to CCI on May 13, 2020. Below was the project timetable. Based on the attached information Rock County will not approve Change order #9 request for an additional \$33,385.19 The salt shed specifications were provided during the bidding process to CCI as stated on the drawings A050 "Reinforced concrete "T" wall designed by building manufacturer, installed by General Contractor. Design to be provided by building supplier during the bidding process" Bradley will you please confirm what I am seeing and stated is accurate? Once you confirmed I will let CCI know I will not approve the Change order # 9 for \$33,385.19

I would also like to know if they corrected through Wheeler Engineers the J hooks every 1' verses every 6" . If they did not correct this that means they also did not build it according to the specifications and we have filling restrictions. I clearly informed them I will not accept it with any restrictions. I assumed that correction was the extra rebar and concrete that caused the change order being requested, but I am not sure. Jim Shebesta was trying to think of a way to correct their mistake. The error was on 2 walls because Jim caught it before they did the other 2 walls. I spoke with Jake at Wheeler to see if there was any field engineering options that could be done to fix their mistake so we do not have any restrictions on filling the shed. Jake stated it had to be reviewed by the Wheeler engineers in house. I shared that with everyone involved.

PROJECTED TIMETABLE

Issue Invitation to Bid	04/21/2020
Questions Due	04/30/2020 – 12:00 noon
Amendments Issued by	05/07/2020 – 5:00 p.m.
Bids Due	05/19/2020 – 1:30 p.m.
Evaluation of Bids	05/19/2020 – 06/02/2020
Governing Committee Approval	06/02/2020
County Board Approval	06/11/2020

Thank you,

Brent Sutherland
Director -Facilities Management
Rock County
51 S. Main Street
Janesville WI, 53545
Office (608)757-5527
Fax (608)757-5539
Cell (608)931-1823
brent.sutherland@co.rock.wi.us

Glad to be Here!

From: Jake Silkey [mailto:jsilkey@wheeler1892.com]
Sent: Tuesday, November 24, 2020 9:16 AM
To: Brent Sutherland <Brent.Sutherland@co.rock.wi.us>
Subject: FW: Wheeler Quote: Rock County DPW - New Vehicle Storage Building and Site Improvements
Importance: High

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Brent,

Contacts quoted below. See email below for concrete information and bid plan attached.

bryan.henne@kphconstruction.com
npaulson@paulsonkimball.com
Jeremy@sullivananddesignbuild.com
tkelly@vogelbldg.com
jwagner@scherrerconstruction.com
bids@scherrerconstruction.com
jvl.bidding@jpcullen.com
mike.magill@cciwi.com
D.Albrecht@t2contractingLLC.com
tcianci@osmanconstruction.com
cward@vogelbldg.com
jeKlobucar@klobucarconstruction.com
JiKlobucar@klobucarconstruction.com
jamesg@gilbankconstruction.com
kott@sjostromconstruction.com
ilindert@abcmadison.com
Kurt@jhhassinger.com
john.kamuchey@Jhhassinger.com
estimating@miron-construction.com

Sincerely,

Jake Silkey, PE | Sales Engineer – Engineered Products | Wheeler
d. 262.229.4068 | jsilkey@wheeler1892.com

From: Jake Silkey
Sent: Wednesday, May 13, 2020 8:41 AM
Cc: Jake Silkey <jsilkey@wheeler1892.com>
Subject: Wheeler Quote: Rock County DPW - New Vehicle Storage Building and Site Improvements
Importance: High

Good Morning,

Thank you for your interest in bidding the construction of a Wheeler Salt Storage Building for the Rock County Department of Public Works. Our material quotation should be available tomorrow. In the meantime, please find the attached documents.

1. **Preliminary Foundation Bid Plan:** Please use this plan for concrete and rebar take-offs for the building foundation. Please note foundation plan is preliminary and is subject to minor changes at the time of final design.
2. **Sample Building Plan:** Sample plan is being supplied to demonstrate the typical timber framing details. Please note building size differs, but most framing typical details will be the same.

Our quotation will identify our material inclusions and exclusions. Below is an additional list:

Included: Plans, Calculations, State DSPS Plan Review, Douglas Fir timber - QNAP treated (posts, planks, blockings, wall plywood, etc.), untreated lumber, roof trusses, roofing plywood, wooden louvers and all connecting galvanized hardware (Nails, Screws, Plates, Bolts, Concrete Anchors bolts, etc.)

Not Included: labor, electrical & lighting, concrete "T" wall brace/footing, overhead door, service door, metal roofing including soffit, fascia, rake trim & roof ventilation, roofing underlayment, translucent window panels, pipe bollards, gutters/downspouts, temporary building and roof truss bracing, or any site preparation.

I will follow-up with our quotation once complete. Please let me know if you have any immediate questions.

Thank you.

Sincerely,

Jake Silkey, PE | Sales Engineer – Engineered Products | Wheeler
d. 262.229.4068 | jsilkey@wheeler1892.com

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**SECTION 13 34 23
SALT STORAGE BUILDING**

PART 1 - GENERAL

1.01 SUMMARY

Building shall be rectangular with walls cabled to each other to withstand lateral load of internal material pile without the aid of external wall bracing. The building shall have a shed roof, sliding doors for closure at one end.

-168' Length

-72' Width

-30' Internal Vertical Height (eaves)

-Capacity:

The building shall hold 8,000 tons salt based on 12' pile height at the wall and extending toward center of building at an angle not to exceed 2 horizontal to 1 vertical, for a maximum pile height of 25'. Area near entrance that is unsuitable for covered material storage due to natural angle of repose should be excluded from capacity calculations. Pile calculations should be based on material weight of 80 pcf for salt. Written calculations and pile diagrams must be provided.

1.02 QUALIFIED MANUFACTURER

- A. Manufacturers other than those listed in this specification, to be eligible for award of bid, shall have at least ten (10) years of successful experience in the design and fabrication of salt storage buildings. Bidder shall provide at least 5 project references with the bid proposal. Reference information shall include project location, building size, date of completion and owner contact information.

1.03 SYSTEM PERFORMANCE REQUIREMENTS

The building shall be designed to meet the requirements of the purpose intended and all applicable Town, County and State Codes.

Wall of the building must be designed to withstand a lateral pressure from material stored to a maximum height of 25'. Design to be based on material weights as specified in CAPACITY, with an internal friction angle of 32 degrees.

Building roof shall be watertight.

1.04 SUBMITTALS

- A. General:
1. Comply with provisions of Section 01 33 00.
- B. General: Submit the following in accordance with Conditions of the Contract and Division 1 Specification Sections.
- C. Product data consisting of storage building system manufacturer's product information for building components and accessories.
- D. Shop drawings for storage building structural framing system, siding panels, and other building system components and accessories that are not fully detailed or dimensioned in manufacturer's product data.
- E. Furnish the following information as proof of conformity to design and performance criteria requirements of this specification. The information (for both submittal phases, below) shall be stamped with the registration seal of an architect or professional engineer, licensed in the

Shall consist of vertical rectangular wood posts set 4' apart center to center and set a minimum of 6' 0" below finished grade. Posts shall be long enough to provide internal clearance height specified in NOMINAL BUILDING DIMENSIONS. Posts may be rough lumber.

Vertical wall posts shall be founded and supported by a continuous cast-in-place concrete "T-Wall." "T-Wall" shall consist of a reinforced concrete spread footing and vertical concrete column, as designed by the manufacturer's engineer. Timber posts shall anchor into both the spread footing and vertical column. Only timber members shall be used in areas that come in contact with salt. Salt contact with concrete members will not be permitted.

No bracing will be allowed on the interior or exterior that extends away from the wall and conflicts with the Owner's equipment movements.

CONCRETE:

All concrete and reinforcement shall be in accordance with the building code requirements for structural concrete (ACI 318). For design purposes, all concrete shall be 4000 psi normal weight. All reinforcement steel shall be grade 60, epoxy coated.

Note: Concrete shall not be used where it is in direct contact with salt.

PIPE BOLLARDS:

Furnish and install pipe bollards at locations shown on plans, minimum six inches (6") in diameter and eight feet (10'-0") in length, consisting of schedule 80 galvanized steel structural pipe, filled with concrete. Furnish concrete within the pipe bollard according to Section 03 30 00 of the standard specifications. Form concrete crown at top of bollard. Embed pipes in concrete footing, and paint with a 3-coat epoxy paint system, (primer plus two finish coats). Paint the entire length of the pipe including buried portion.

SIDING:

Internal load walls shall have horizontal treated timber planks (minimum 12" nom. in width) and treated plywood nailed on the inside of wall posts. Plank thickness and stress grade shall be adequately sized to withstand lateral material pressure and shall be a minimum thickness of 2" nom. in single application. The plank shall extend two feet higher than design pile load line of the wall. Marker shall be provided to designate the maximum pile height on the wall. Design calculations must include analysis of wall plank thickness and stress grade.

Wall planks shall be rough lumber; however, the sides shall be SIE (surfaced on one edge to 11-5/8") to fit tight against adjacent planks.

ROOF:

- A. Provide materials and surface finishes conforming to the guarantee specified below, requiring minimum maintenance and conforming to, or exceeding, the Underwriters' Laboratories, Inc. Class C rating requirements (labels are not required). Unprotected aluminum or bare steel surfaces are not acceptable.
 1. Type: Prefabricated or site-built, complete with all necessary accessories, fastening devices, trim, and flashings.
 2. Drainage: Positive slope; no standing water.
 3. Strength: comply with structural criteria specified on drawings.
 4. Wind Resistance: 60 pounds per square foot (uplift) for adhesive applied products, UL Standard 997 for shingle type products.

5. Compatibility: All materials to be physically and chemically compatible with each other and with adjacent building components.
6. Products:
 - i. Metal roofing shall consist of 29 gauge galvanized coated steel panels, with color matched fasteners, carrying a manufacturer's warranty of 30 years, color to be reviewed, selected and approved by the engineer from manufacturer's standard colors. Acceptable products are GrandRib 3 Plus by Fabral with Enduracote finish, Stormproof by MBCI with Signature 200 paint system, Max Rib by McElroy with siliconized polyester pain system, or equivalent.
 - ii. Trim: Provide metal rake trim at all edges and slope changes
 - iii. Underlayment shall conform to ASTM D1970, Standard Ice Dam Underlayment.
 - iv. Sheathing shall be APA rated, 5/8-inch thick nominal, CDX plywood roof sheathing. In no case shall metal roofing be applied directly to trusses.

VENTILATION:

Provide suitable openings located at or near the highest point of the roof to provide a minimum ratio of 1 square inch of free air area for each 55 square feet or building area. Color to match adjacent roofing materials.

Provide wooden louver vents with minimum area of 3 square-feet each at each gable end of building.

TRANSLUCENT PANELS:

Provide 4'-0" high, minimum, polycarbonate translucent sky lights on sidewalls as shown on the drawings.

MATERIALS:

All materials shall be unused.

All items shall be inspected visually, at the erection site, for conformance with these specifications and the final design as approved by the Owner. If deemed necessary by the Owner, onsite samples will be taken by the Owner and submitted to a testing laboratory selected by the Owner and tested to verify compliance with the specifications and final design.

Timber:

All structural timber products furnished for the building shall be in conformity with the National Design Specifications for Wood Construction, 2015 Edition as published by the National Forest Products Association. This includes all source documents including all lumber grading rules. Suppliers must provide inspection certificates for posts, wall plank and main structural elements certifying compliance with the stress grade required as indicated by the design calculations and as indicated on the plans. All certifications shall be furnished to owner prior to delivery of the material. All structural timber for the wall system shall be Coastal Douglas Fir, other timber species will not be allowed.

Plywood:

Each panel of construction plywood shall be identified with the grade - trademark of the American Plywood Association, and shall meet the requirements of Product Standard "PS-1" for Construction and Industrial Plywood. Plywood roof sheathing shall be C-D interior with exterior glue.

Copper Naphthenate Pressure Treatment:

Preservative treatment of lumber and timber shall be by the pressure process, and unless otherwise provided in the contract special provisions, be in accordance with AWPA Standards and AASHTO Designation M 133.

Preservative and Preservative Treatment shall be in accordance with the American Wood Preservers' Association (AWPA) Standards.

All timber below the roof trusses shall be pressure treated with Copper Naphthenate in AWPA P9 Type A Hydrocarbon Solvent.

Unless otherwise directed by the Owner the material shall be graded prior to treatment. Material shall be accepted after treatment on the basis of its condition prior to treatment, on the basis of inspection of the treatment procedure substantiated by plant records, on the condition of the material after treatment and on absorption, penetration and visual inspection.

So far as practicable all adazing, boring, chamfering, framing, gaining, mortising, surfacing and general framing, etc., shall be done prior to treatment. If cut after treatment, coat cut surfaces according to AWPA M4.

All Douglas Fir or other species that are difficult to penetrate shall be incised prior to treatment.

Metal Plates and Fasteners:

All hardware and plates shall be hot dip galvanized. Metal gusset plates on roof trusses shall be field painted with asphalt paint. The supplier shall furnish the paint.

PART 3 - EXECUTION

3.01 ERECTION OF FRAMING

Do not use materials that are unsound, warped, improperly finished, or with defective surfaces, sizes, or patterns.

Comply with frame manufacturer's approved Shop Drawings for details and building erection.

Columns:

Auger hole to depth of diameter indicated on Drawings.

Construct column foundations per Salt Storage Building Designer Drawings.

Wallboards: Install using manufacturer recommended fasteners.

Provide all required footings, foundations, and/or other required substructures or supports at the required elevations on properly prepared subgrade, as required for the erection of the complete storage building.

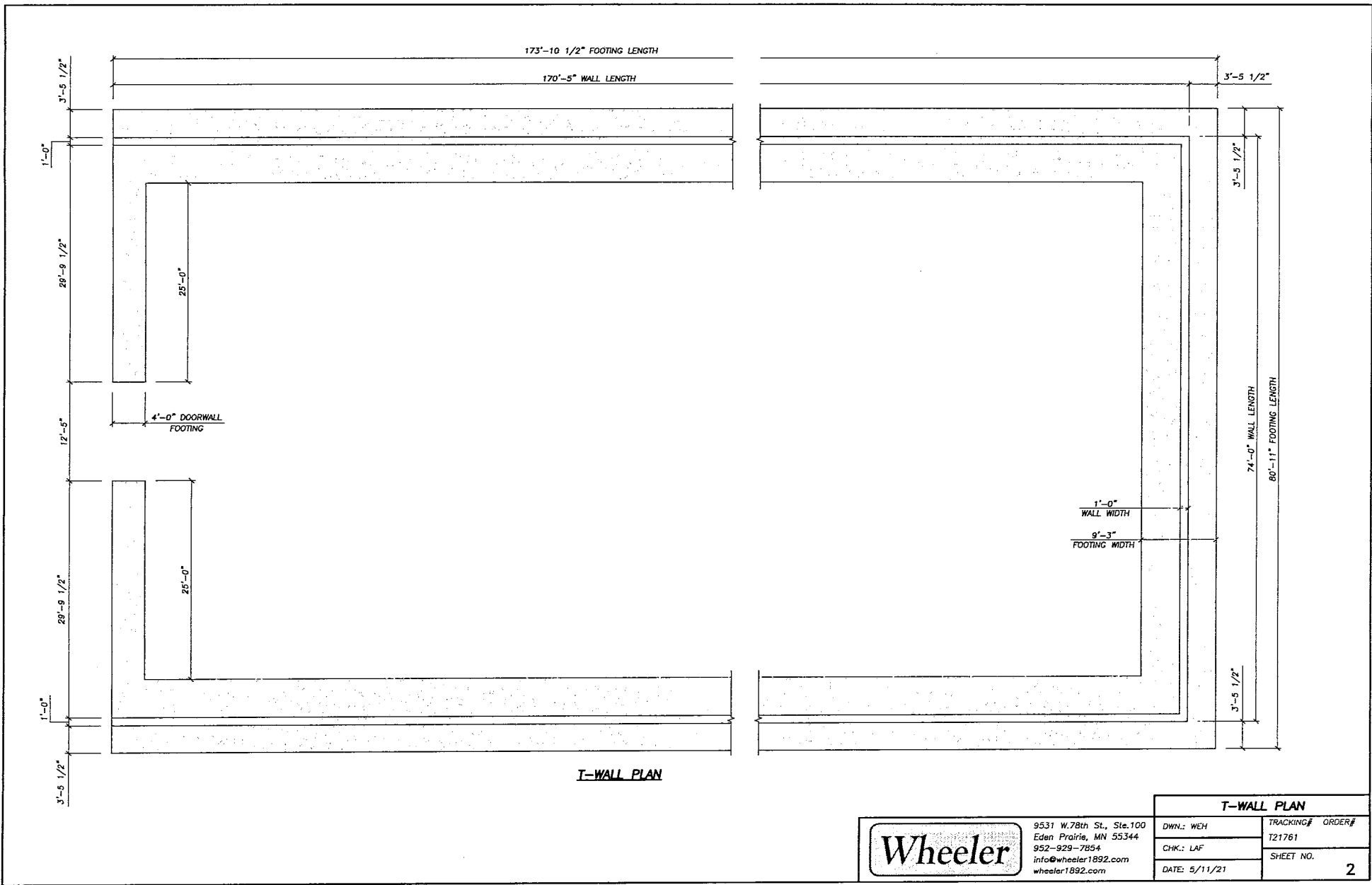
Foundations shall be of size and depth required to resist frost action.

Roof Joists:

Set joists in place in center of column using lifting methods as approved by manufacturer.

Cable Ties: Install cable ties at locations recommended by building manufacture and per approved Shop Drawings.

END OF SECTION

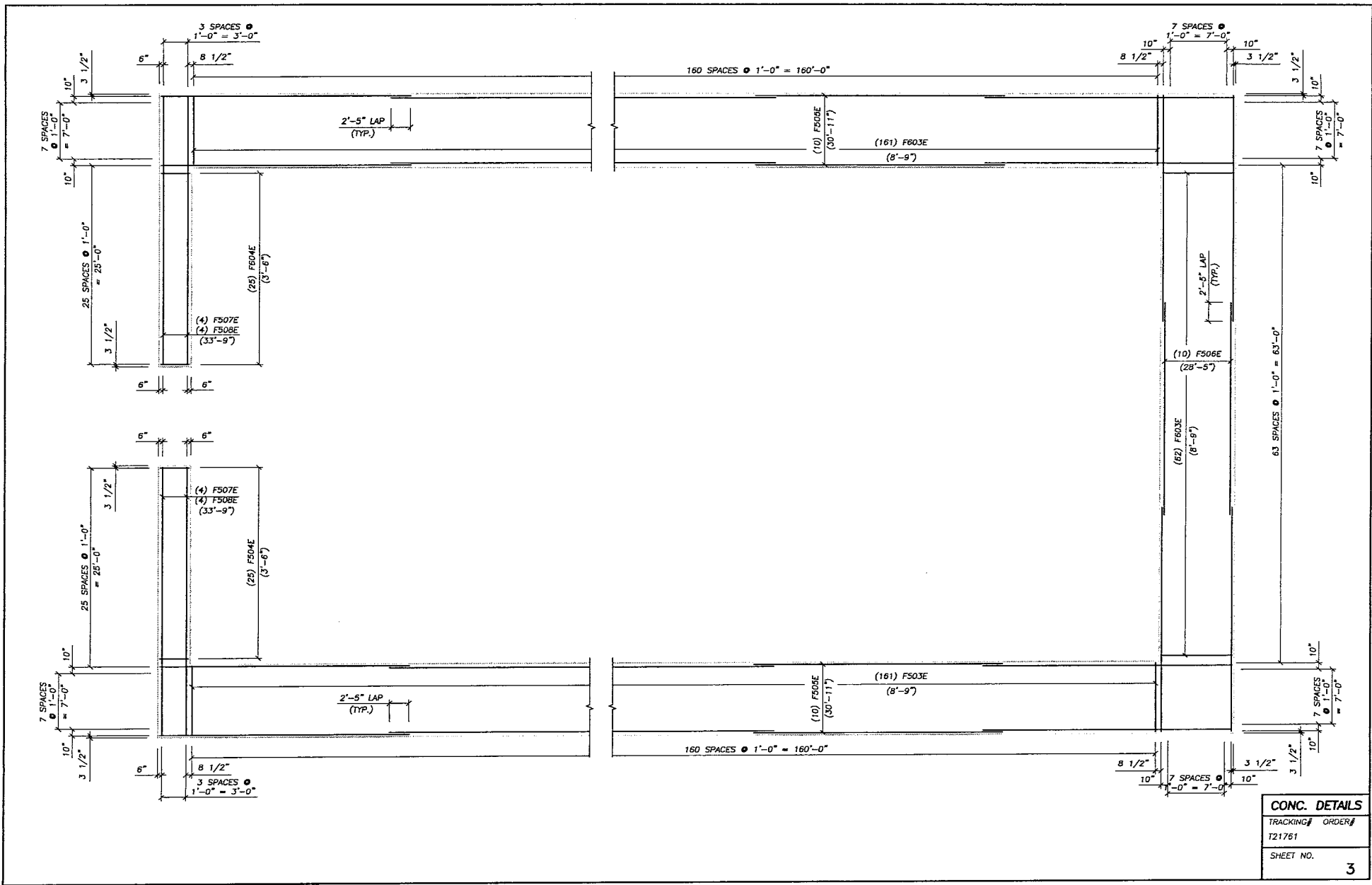


T-WALL PLAN



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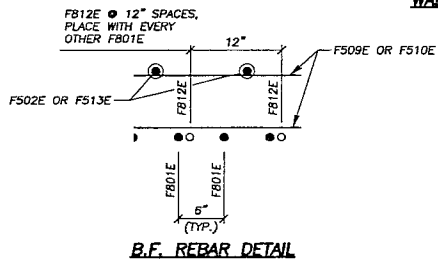
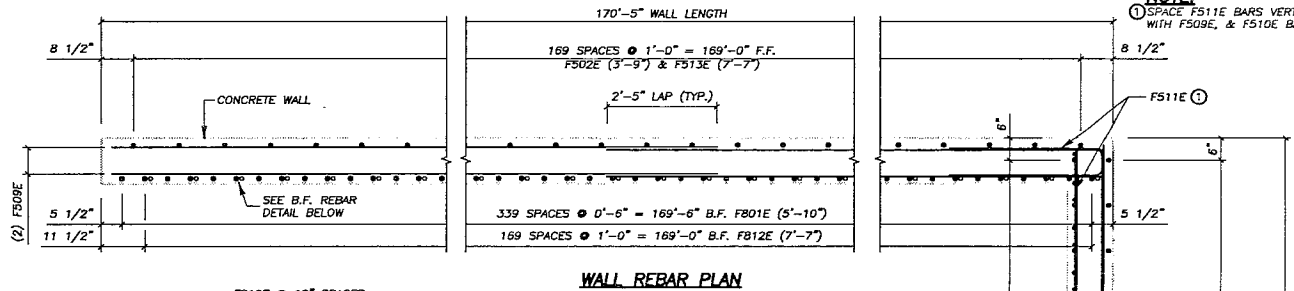
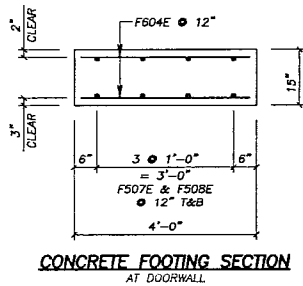
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CHK.: LAF	T21761
DATE: 5/11/21	SHEET NO.
	2



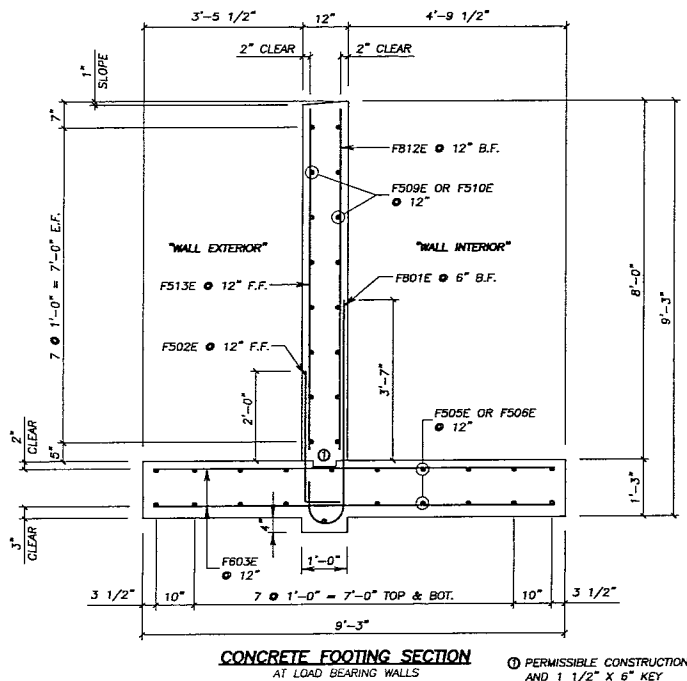
CONC. DETAILS

TRACKING# ORDER#
T21761

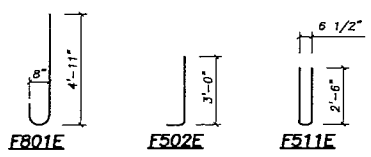
SHEET NO.



NOTES:
 F.F. = FRONT FACE
 E.F. = EVERY FACE
 B.F. = BACK FACE
 THE FIRST DIGIT OF THE BAR SIGNIFIES THE BAR SIZE.
 BAR SIZE SHOWN IN THIS PLAN ARE U.S. CUSTOMARY DESIGNATIONS.
 BARS MARKED WITH SUFFIX "E" SHALL BE EPOXY COATED.
 ALL REINFORCEMENT STEEL SHALL BE GRADE 60.
 DRAWINGS SHALL NOT BE SCALED.
 BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 2" CLEAR UNLESS OTHERWISE SHOWN OR NOTED.



① PERMISSIBLE CONSTRUCTION AND 1 1/2" X 6" KEY

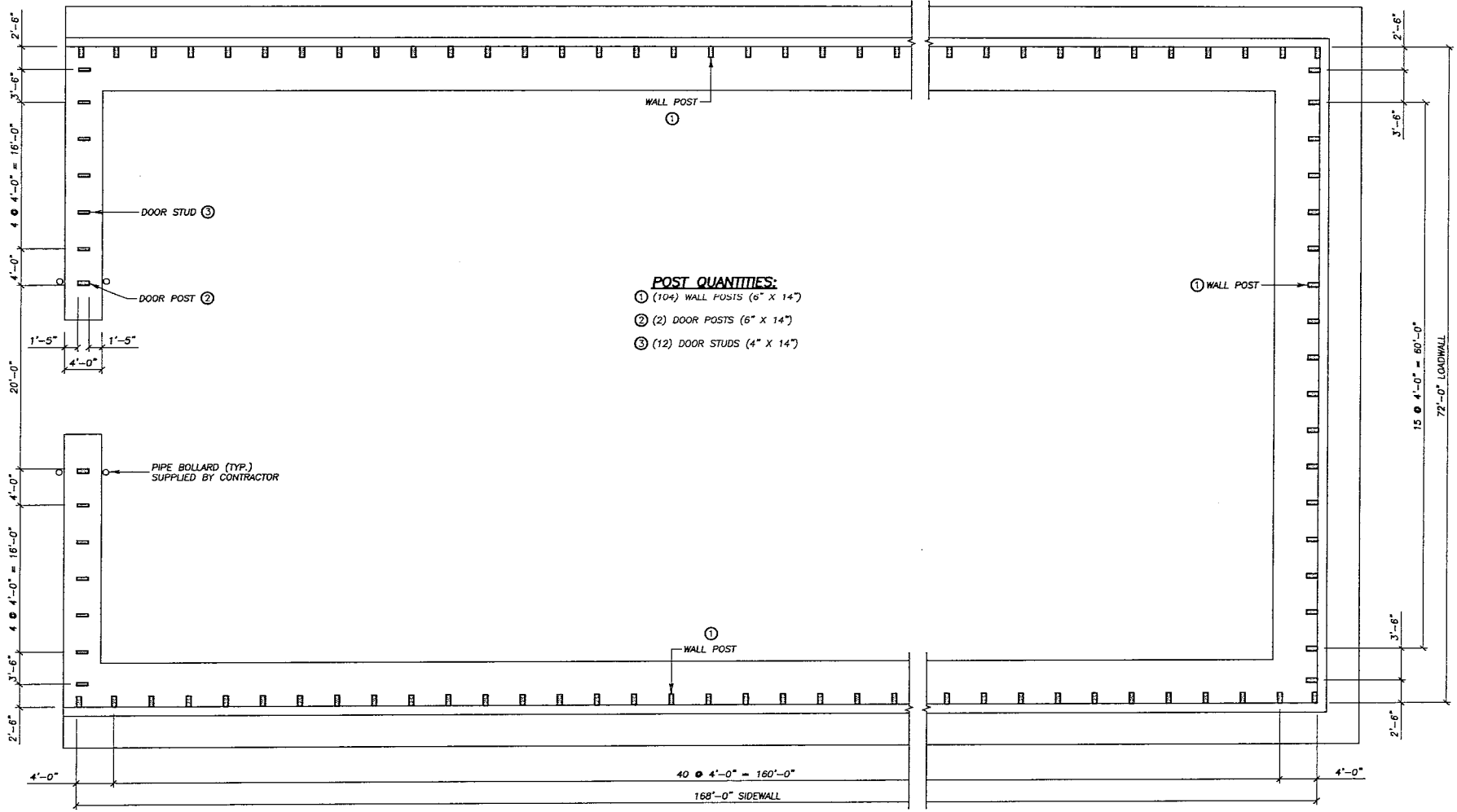


BILL OF REINFORCEMENT				
BAR	QTY.	LENGTH	SHAPE	LOCATION
F801E	827	5'-10"	BENT	WALL B.F. ~ VERTICAL
F502E	414	3'-9"	BENT	WALL F.F. ~ VERTICAL
F603E	768	8'-9"	STRT.	FOOTING ~ TOP & BOTTOM
F604E	100	3'-6"	STRT.	FOOTING ~ TOP & BOTTOM
F505E	240	30'-11"	STRT.	FOOTING ~ T&B LONG
F506E	60	28'-5"	STRT.	FOOTING ~ T&B LONG
F507E	8	33'-9"	STRT.	FOOTING ~ BOTTOM LONG
F508E	8	33'-9"	STRT.	FOOTING ~ TOP LONG
F509E	192	30'-4"	STRT.	WALL ~ HORIZONTAL LONG
F510E	48	26'-2"	STRT.	WALL ~ HORIZONTAL LONG
F511E	32	5'-4"	BENT	WALL ~ HORIZONTAL CORNER
F812E	413	7'-7"	STRT.	WALL B.F. ~ VERTICAL
F513E	414	7'-7"	STRT.	WALL F.F. ~ VERTICAL



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CONCRETE DETAILS		TRACKING#	ORDER#
DWN.: WEH	CHK.: LAF	T21761	
DATE: 5/11/21		SHEET NO.	4



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POST PLAN		TRACKING#	ORDER#
DWN.: WEH		T21761	
CHK.: LAF		SHEET NO.	
DATE: 5/11/21			5

TIMBER NOTES:

ALL TIMBER BELOW ROOF TRUSSES SHALL BE COPPER NAIL/PRESERVATIVE TREATED.

ALL TIMBER TO BE GRADED AS PER NFPA 1991 NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.

ALL 2" X 12" WALL PLANK TO BE DOUGLAS FIR-LARCH, NO.2, S1S1E (1 5/8" X 11 5/8").

ALL 3" X 12" WALL PLANK TO BE DOUGLAS FIR-LARCH, NO.2, S1S1E (2 5/8" X 11 5/8").

ALL 6" X 12" HEADERS TO BE DOUGLAS FIR-LARCH, NO.1.

ALL 4" X 16" TOP PLATES TO BE DOUGLAS FIR-LARCH, NO.1, S1S (3 1/2").

FILL HEIGHT MARKER TO BE 2" X 4", DOUGLAS FIR-LARCH, NO.1, S4S, UNTREATED & FIELD PAINTED.

ALL 6" X 16" POSTS TO BE DOUGLAS FIR-LARCH, NO.1.

ALL 4" X 16" DOOR STUDS TO BE DOUGLAS FIR-LARCH, NO.1.

BALANCE OF TIMBER TO BE DOUGLAS FIR-LARCH, PONDEROSEA PINE, NO.1.

ALL TIMBER IS ROUGH UNLESS OTHERWISE NOTED.

ALL TIMBER CUT IN FIELD SHALL BE TREATED WITH (3) COATS OF AN APPROVED TREATING PRESERVATIVE.

ALL HARDWARE TO MEET ASTM A307 GALVANIZED TO A153. ALL HIGH STRENGTH HARDWARE TO MEET ASTM A329 OR A449 GALVANIZED TO A153. ALL STRUCTURAL STEEL TO MEET ASTM A56 GALVANIZED TO A123.

CONSTRUCTION REQUIREMENTS SHALL CONFORM TO STATE SPECIFICATIONS UNLESS OTHERWISE NOTED.

ALL TIMBER TO BE CUT TO EXACT LENGTH, DRESSED TO SIZE REQUIRED AND ALL PRACTICAL FRAMING TO BE DONE IN-PLACE TO INCARCINATION.

ALL BOLT THREADS TO BE SET WITH A CENTER PUNCH AFTER INSTALLATION.

ROOFING TO BE 22 GA METAL ROOFING, METAL ROOFING AND UNDERLAYMENT SUPPLIED BY CONTRACTOR.

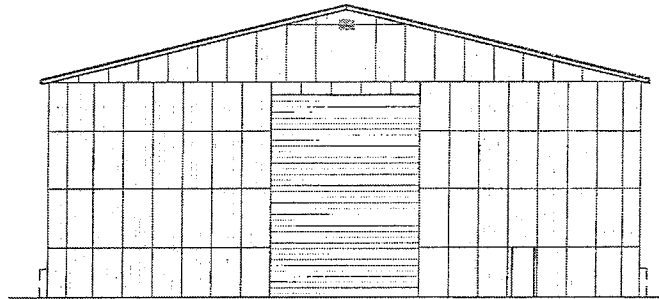
ALL METAL GUSSET PLATES ON TRUSSES AND TRUSS TO BRAYS SHALL BE PAINTED WITH ASPHALT PAINT.

ALL HOLES DRILLED IN FIELD WHERE SPIKES ARE USED ARE TO BE 1/16" SMALLER THAN SPIKE SIZE. HOLES DRILLED FOR BOLTS ARE TO BE 1/16" LARGER THAN BOLT SIZE.

ANY NUT OR MACHINE BOLT HEAD IN DIRECT CONTACT WITH TIMBER TO HAVE ONE PLATE WASHER BETWEEN NUT AND TIMBER, OR BOLT HEAD AND TIMBER.

ANY NUT OR MACHINE BOLT HEAD IN DIRECT CONTACT WITH STEEL TO HAVE ONE CUT WASHER BETWEEN NUT AND STEEL OR BOLT HEAD AND STEEL.

WAUPACA COUNTY, WISCONSIN SALT STORAGE BUILDING



DOORWALL

GOVERNING SPECIFICATIONS:
THE INTERNATIONAL BUILDING CODE GOVERNS.

DESIGN DATA:

THE DESIGN OF THIS STRUCTURE COMPLIES WITH THE BUILDING CODE AND SUPPLEMENTAL SPECIFICATIONS AS INDICATED IN THE CODE AND THE DESIGN COMPUTATIONS.

- 1) USE AND OCCUPANCY CLASSIFICATION - GROUP S-2
- 2) TYPE OF CONSTRUCTION = V-B
- 3) BULK STORAGE, 80 PCF SALT, 12FT. AT WALLS.
1) VERT. MAX. FILL HT. MAX. SLOPE SHALL BE 1 VERTICAL TO 2 HORIZONTAL.
- 4) ROOF LIVE LOAD USED IN THE DESIGN 26.9 PSF
 - A) GROUND SNOW LOAD 40 PSF
 - B) FLAT ROOF SNOW LOAD 26.9 PSF
 - C) SNOW EXPOSURE FACTOR 1.0
 - D) SNOW IMPORTANCE FACTOR 0.8
 - E) THERMAL FACTOR 1.2
- 5)
 - A) BASIC WIND SPEED 105 MPH
 - B) OCCUPANCY CATEGORY 1
 - C) EXPOSURE "C"
 - D) COMPONENTS AND CLADDING
 - 1) ROOF = 18.5, -69.5 PSF
 - 2) WALL = 16.5, -46.3 PSF

ROOF TRUSS DESIGN NOTE:

ROOF TRUSSES SHALL BE DESIGNED FOR AN ADDITIONAL 202 LBS. OF TENSION APPLIED CONCURRENTLY WITH OTHER LOADS. THIS IS A POST LOAD APPLIED AT THE TRUSS BEARING RESULTING FROM THE STORED SALT OR SAND.

CONSTRUCTION NOTES:

FOOTINGS ARE DESIGNED FOR A NET ALLOWABLE BEARING PRESSURE OF 2000 PSF. THE GEOTECHNICAL ENGINEER OR PROJECT ENGINEER ON SITE SHALL VERIFY. THE WIDTH OF FOOTING EXCAVATION SHALL BE MINIMIZED TO IMPROVE LATERAL BEARING AND LIMIT DISRUPTION TO THE IN-PLACE NATIVE CONSOLIDATED MATERIAL. BACKFILL WITH NATIVE MATERIAL WHEN SO APPROVED. COMPACT TO 95% STANDARD PROCTOR.

CONCRETE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO MIX DESIGN, QUALITY CONTROL, PLACEMENT, COLD WEATHER PROVISIONS, AND ANCHORAGE INSTALLATION, SHALL BE IN ACCORDANCE WITH THE CODE AND THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318) AS APPROVED BY THE PROJECT ENGINEER ON SITE. CONCRETE TO BE CURED FOR MINIMUM WEIGHT GAINING JOINTS OR UNBONDED CONSTRUCTION JOINTS TO BE PROVIDED AT 16 FT. MAX. SPACING, MIDWAY BETWEEN POSTS OR KNEE BRACES. CONTROL JOINTS SHALL BE LOCATED AT THE UPPER SURFACE OR SURFACES AND PENETRATE ONE FOURTH THE FOOTING THICKNESS (MIN). ALL REINFORCEMENT STEEL SHALL BE GRADE 60, EPOXY COATED.

ERECTION AND TEMPORARY BRACING OF ROOF TRUSSES SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND INDUSTRY STANDARDS AS APPROVED BY THE PROJECT ENGINEER ON SITE AND ARE NOT THE RESPONSIBILITY OF THIS PLAN.

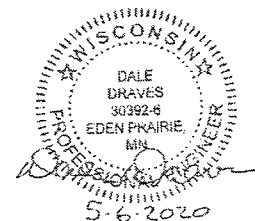
PREDRILL HOLES FOR SCREWS AND NAILS AS NECESSARY TO AVOID SPLITTING OF TIMBERS.

SHEARWALL & ROOF DIAPHRAGM NOTE:

THIS BUILDING DESIGN INCLUDES PROVISIONS FOR SHEARWALLS & A ROOF DIAPHRAGM, WHICH ARE STRUCTURAL ELEMENTS NECESSARY TO RESIST THE BULK STORAGE LATERAL LOAD. CAREFUL ATTENTION MUST BE PAID TO ALL PLYWOOD SHEATHING SPECIFICATIONS, BLOCKING, AND OTHER DETAILS WITHIN THIS PLAN.

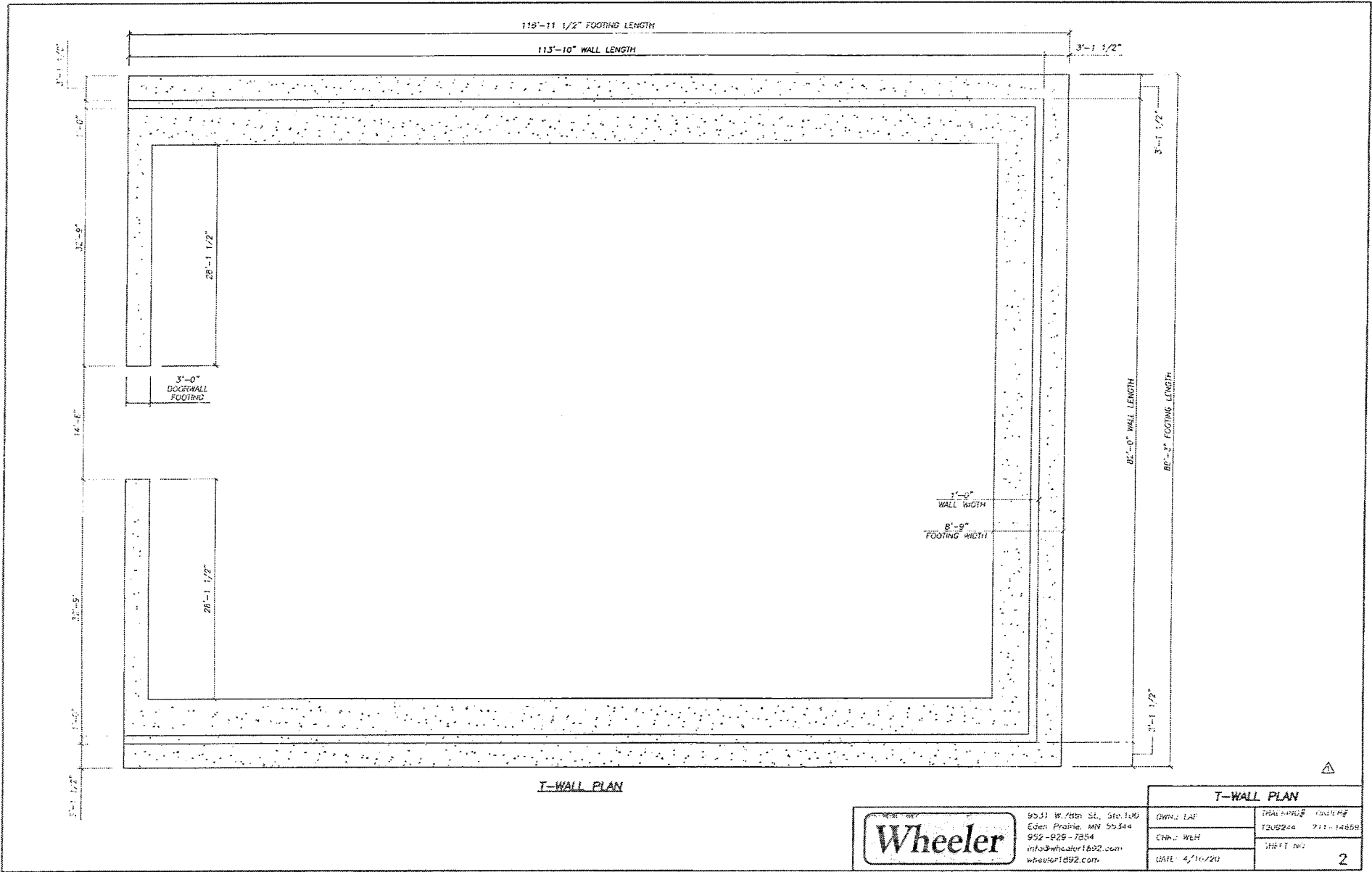
PLAN SHEET INDEX	
SHEET	DESCRIPTION
1	COVER SHEET & SPECIFICATIONS
2	T-WALL PLAN
3	CONCRETE DETAILS
4	CONCRETE DETAILS
5	POST PLAN
6	POST FOOTING DETAILS
7	TYPICAL SECTION @ WALL
8	SHEARWALL DETAILS
9	SHEARWALL DETAILS
10	SHEARWALL DETAILS
11	SIDEWALL FRAMING
12	LOADWALL FRAMING
13	DOORWALL FRAMING
14	SECTION @ WALLS
15	ROOF FRAMING
16	CONNECTION DETAILS
17	ROOF DIAPHRAGM DETAILS
18	FINISHING & MISC. DETAILS
19	PILOT PLAN

RING SHANK (R.S.) NAIL MINIMUM DIMENSION TABLE		
PENNY WT.	SHANK DIAMETER (IN.)	LENGTH (IN.)
6d	0.120	2.0
16d	0.148	3.5



REVISION	DESCRIPTION	DATE	INITIALS
1	CONCRETE FOOTING	5/3/20	WEH
2			
3			

COVER SHEET & SPECIFICATIONS	WAUPACA COUNTY SALT STORAGE BUILDING	112' L X 80' W X 30' H SALT STORAGE		9531 W. 78th St., Ste.100 Eden Prairie, MN 55344 952-928-7854 info@wheeler1892.com wheeler1892.com	DWN: LAF WEH DATE: 4/10/20	TRACKING# 00000000 1209244 711-14659 SHEET NO. 1
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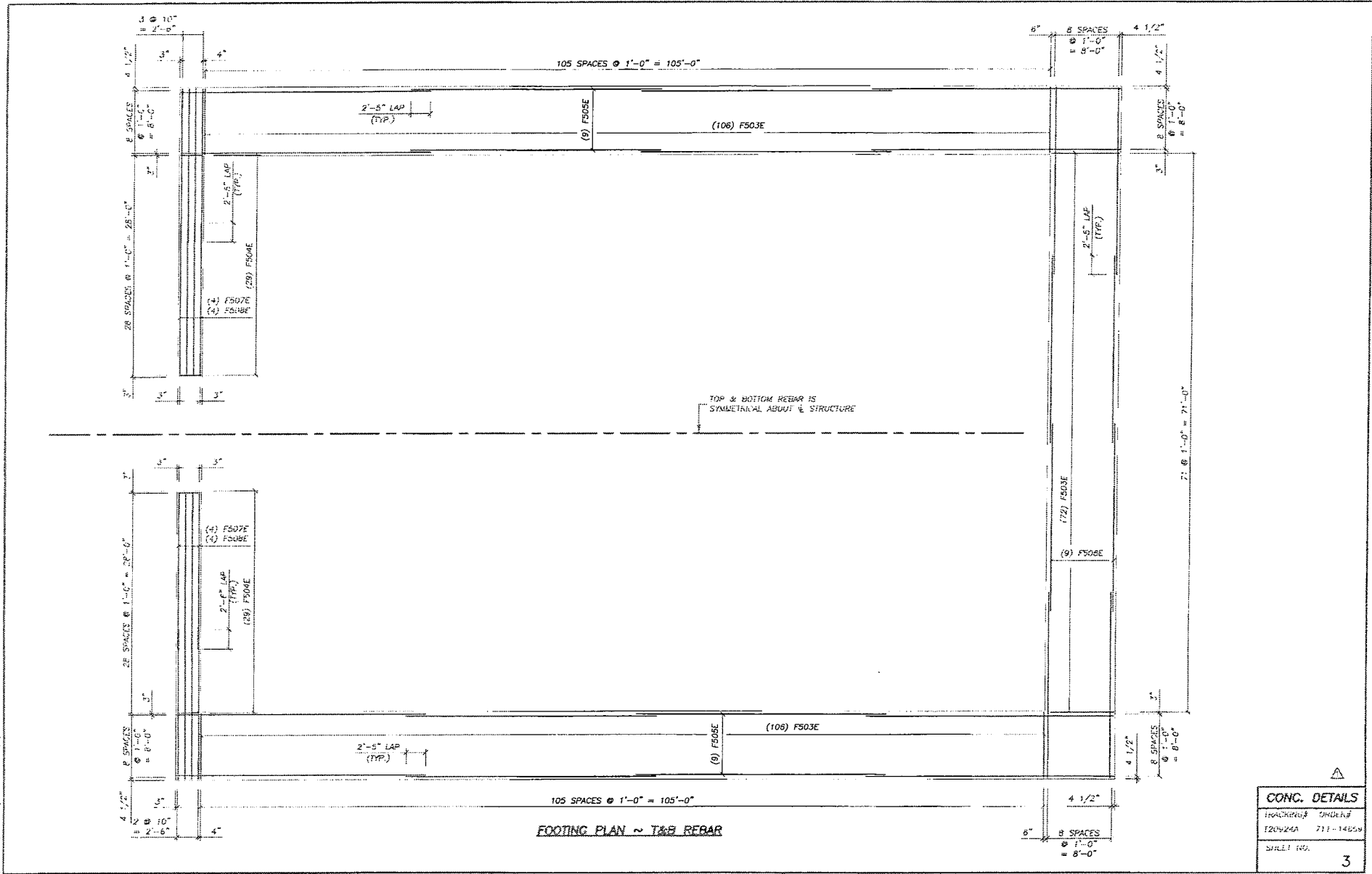


T-WALL PLAN

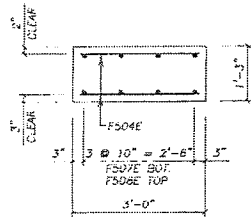


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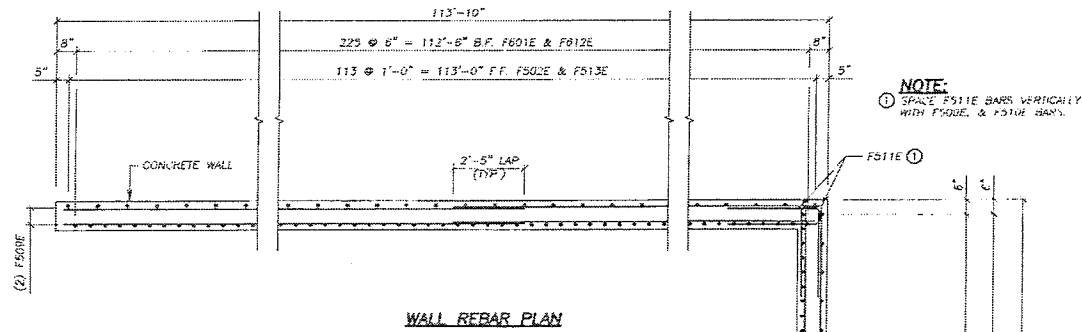
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CONTRACTOR: WELH	1209244	711-14858	
DATE: 4/16/20	sheet no.	2	



CONC. DETAILS	
REVISIONS	DATE
120524A	711-14659
DWG. NO.	



CONCRETE FOOTING SECTION
AT GUCHWALL



WALL REBAR PLAN

NOTES:

F.F. = FRONT FACE
E.F. = EVERY FACE
B.F. = BACK FACE

THE FIRST DIGIT OF THE BAR SIGNIFIES THE BAR SIZE

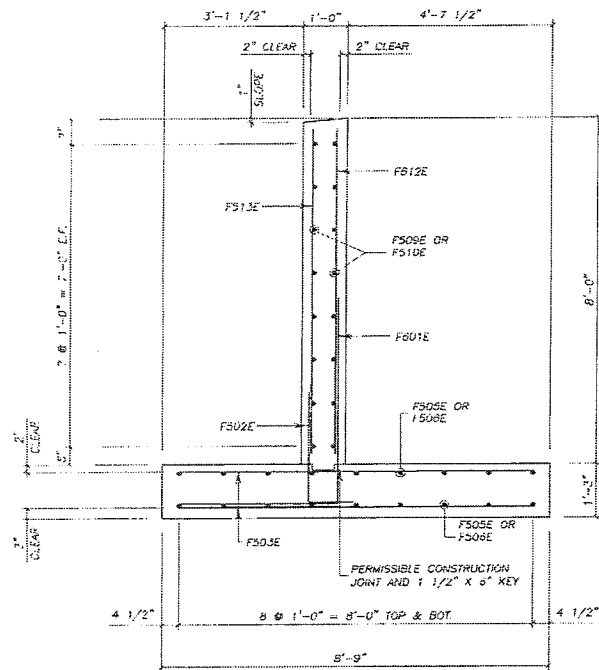
BAR SIZE SHOWN IN THIS PLAN ARE U.S. CUSTOMARY DESIGNATIONS

BAR MARKED WITH SUFFIX "E" SHALL BE EPOXY COATED

ALL REINFORCEMENT STEEL SHALL BE GRADE 60

DRAWINGS SHALL NOT BE SCALED

BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 2" CLEAR UNLESS OTHERWISE SHOWN OR NOTED.



CONCRETE FOOTING SECTION
AT LOAD BEARING WALLS

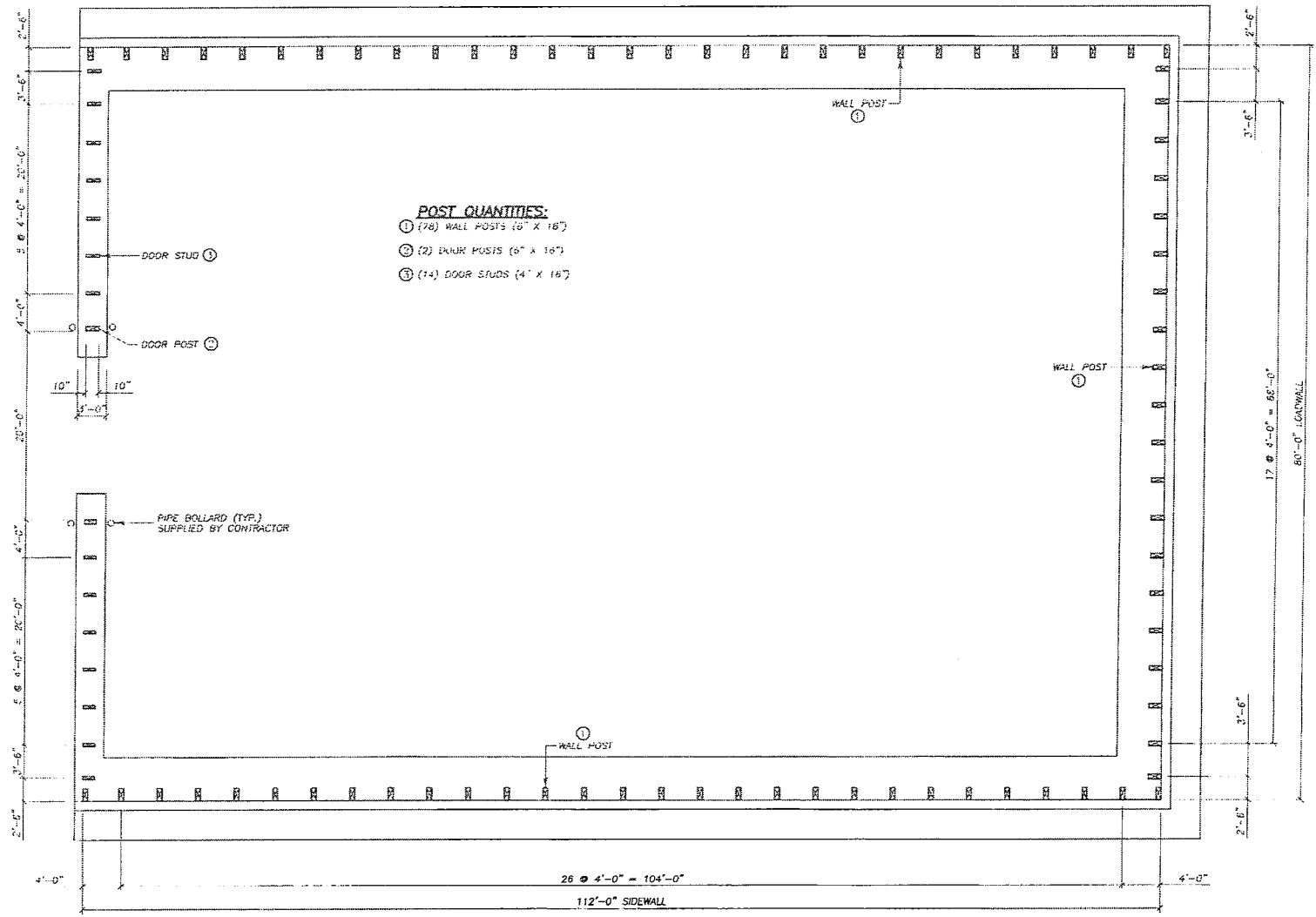


BILL OF REINFORCEMENT				
BAR	QTY.	LENGTH	SHAPE	LOCATION
F601E	615	8'-5"	BENT	WALL B.F. - VERTICAL
F502E	310	3'-8"	BENT	WALL F.F. - VERTICAL
F501E	558	8'-3"	STRT	FOOTING - TOP & BOTTOM
F504E	116	2'-6"	STRT	FOOTING - TOP & BOTTOM
F505E	144	31'-0"	STRT	FOOTING - T&B LONG
F506E	72	22'-3"	STRT	FOOTING - T&B LONG
F507E	18	19'-6"	STRT	FOOTING - BOTTOM LONG
F508E	18	19'-6"	STRT	FOOTING - TOP LONG
F509E	128	30'-2"	STRT	WALL - HORIZONTAL LONG
F510E	64	23'-10"	STRT	WALL - HORIZONTAL LONG
F511E	32	6'-2"	BENT	WALL - HORIZONTAL CORNER
F612E	610	1'-6"	STRT	WALL B.F. - VERTICAL
F513E	310	7'-6"	STRT	WALL F.F. - VERTICAL



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CONCRETE DETAILS		
ENGR. LAF	DATE: 4/10/20	DATE: 4/10/20
CHK: WFF		

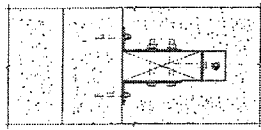


26 @ 4'-0" = 104'-0"
112'-0" SIDEWALL
POST PLAN

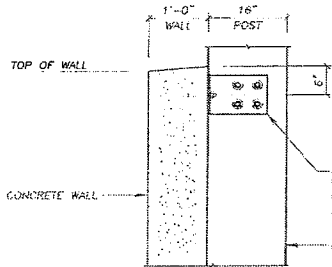


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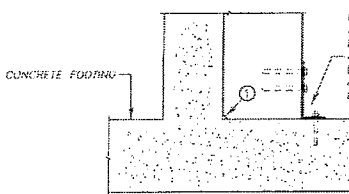
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CHK. WEH	F20824A	711-14609	
DATE: 4/10/09	SHEET NO.	5	



PLAN

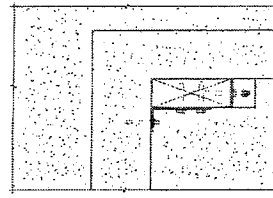


(2) $\angle 12" \times 5" \times 3/8"$ X 0'-8" BENT PLATES, ATTACH TO WALL POST WITH (4) $3/4" \times 5"$ MACHINE BOLTS WITH (2) $3/4"$ CUT WASHERS EA., ATTACH EA. ANGLE TO CONCRETE WALL WITH (1) $5/8" \times 7"$ SIMPSON STRONG BOLT WEDGE ANCHOR WITH (1) $5/8"$ CUT WASHER, MIN. EMBEDMENT $\geq 1/8"$, FIELD DRILL

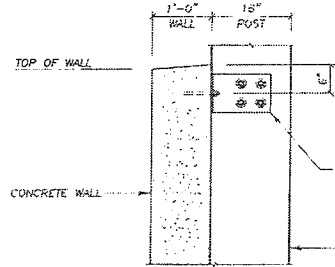


(1) $\angle 12" \times 5" \times 3/8"$ X 0'-8" BENT PLATE, ATTACH TO WALL POST WITH (2) $7/8" \times 9"$ HEX LAGS WITH (1) $7/8"$ CUT WASHER EA., ATTACH ANGLE TO CONCRETE FOOTING WITH (1) $5/8" \times 7"$ SIMPSON STRONG BOLT WEDGE ANCHOR WITH (1) $5/8"$ CUT WASHER, MIN. EMBEDMENT $\geq 1/8"$, FIELD DRILL

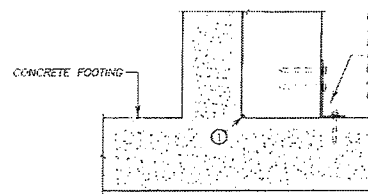
TYPICAL WALL POST CONNECTION



PLAN

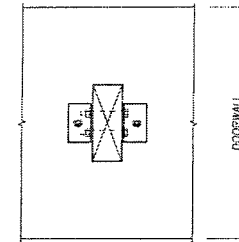


(2) $\angle 12" \times 5" \times 3/8"$ X 0'-8" BENT PLATES, ATTACH TO WALL POST WITH (4) $3/4" \times 6"$ HEX LAGS WITH (1) $3/4"$ CUT WASHER EA., ATTACH EA. ANGLE TO CONCRETE WALL WITH (1) $5/8" \times 7"$ SIMPSON STRONG BOLT WEDGE ANCHOR WITH (1) $5/8"$ CUT WASHER, MIN. EMBEDMENT $\geq 1/8"$, FIELD DRILL

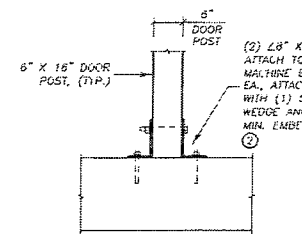


(1) $\angle 12" \times 5" \times 3/8"$ X 0'-8" BENT PLATE, ATTACH TO WALL POST WITH (2) $7/8" \times 9"$ HEX LAGS WITH (1) $7/8"$ CUT WASHER EA., ATTACH ANGLE TO CONCRETE FOOTING WITH (1) $5/8" \times 7"$ SIMPSON STRONG BOLT WEDGE ANCHOR WITH (1) $5/8"$ CUT WASHER, MIN. EMBEDMENT $\geq 1/8"$, FIELD DRILL

WALL END POST CONNECTION

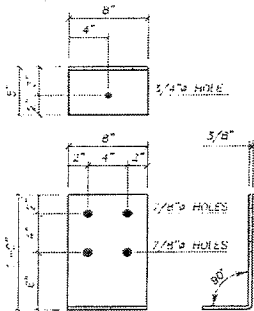


PLAN



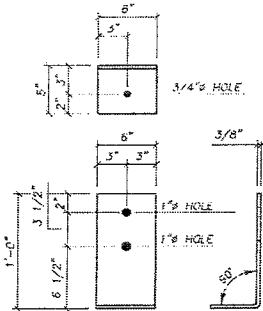
(2) $\angle 8" \times 5" \times 3/8"$ X 0'-8" BENT PLATE, ATTACH TO DOOR POST WITH (2) $3/4" \times 5"$ MACHINE BOLTS WITH (2) $3/4"$ CUT WASHERS EA., ATTACH EA. ANGLE TO CONCRETE FOOTING WITH (1) $5/8" \times 7"$ SIMPSON STRONG BOLT WEDGE ANCHOR WITH (1) $5/8"$ CUT WASHER, MIN. EMBEDMENT $\geq 1/8"$, FIELD DRILL

TYPICAL DOOR POST CONNECTION



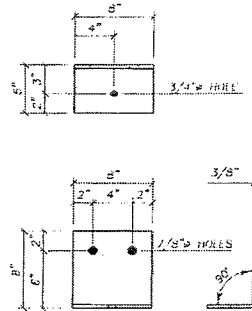
TOP OF WALL POST BENT PLATE DETAIL

ASTM A36, H.D.G. A123
154 - REQUIRED



BOTTOM OF WALL POST BENT PLATE DETAIL

ASTM A36, H.D.G. A123
78 - REQUIRED



DOOR POST BENT PLATE DETAIL

ASTM A36, H.D.G. A123
52 - REQUIRED

NOTES:

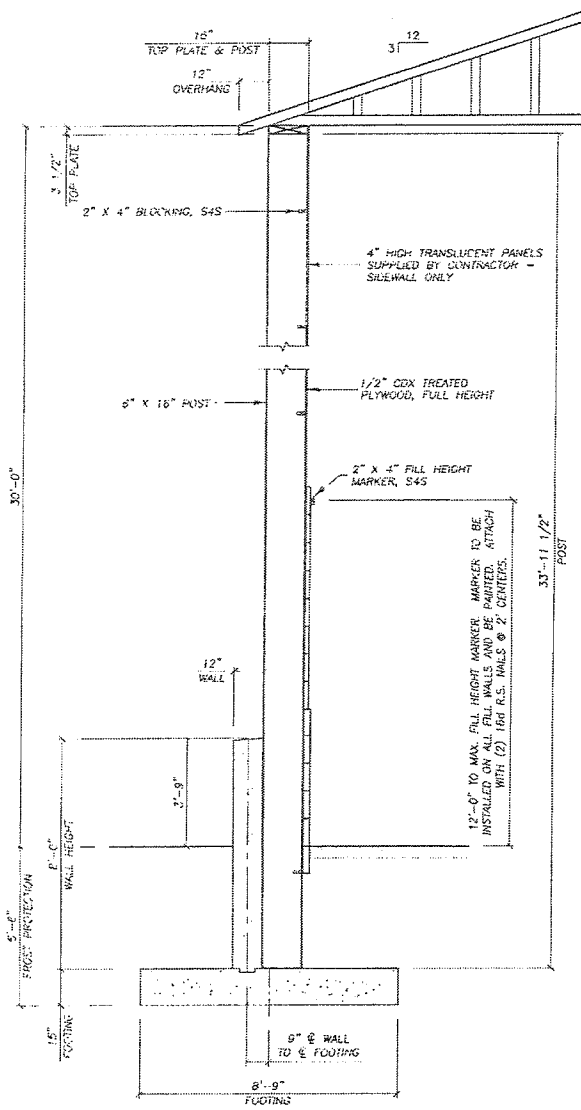
- ① SHOW CHAMFER POST 1" X 1" ON FOOTING SIDE TO ACCOMPLISH CHAMFER AT WALL TO FOOTING INTERSECTION.
- ② FOR DOOR STUD CONNECTIONS USE (2) $3/4" \times 7"$ MACHINE BOLTS WITH (2) $3/4"$ CUT WASHERS EA.

POST FOOTING DETAILS

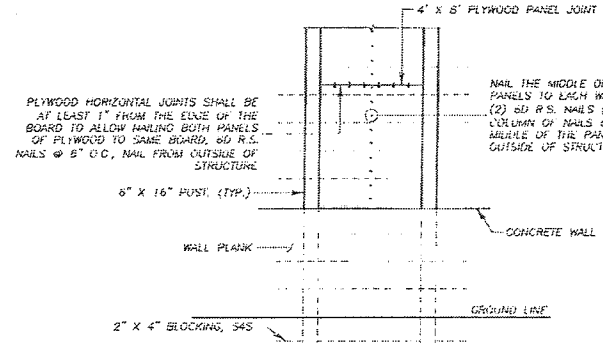
DESIGNER: LAF	DATE: 4/10/20
CHECKER: WWH	
DATE: 4/10/20	
PROJECT: 130924A	711-14000
SHEET NO	6



95.51 W. 78th St., Ste. 100
Eden Prairie, MN 55344
952-929-7854
info@wheeler1392.com
wheeler1392.com

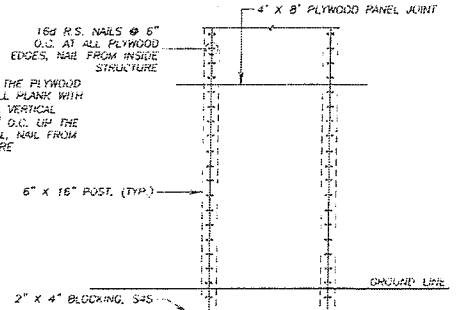


SECTION @ SIDEWALL
LOADWALL SIMILAR



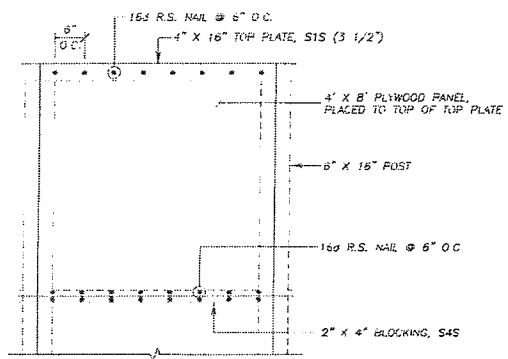
TYPICAL WALL PLYWOOD NAILING DETAIL

VIEWING FROM OUTSIDE OF STRUCTURE
APPROXIMATELY (20) NAILS PER PLYWOOD PANEL



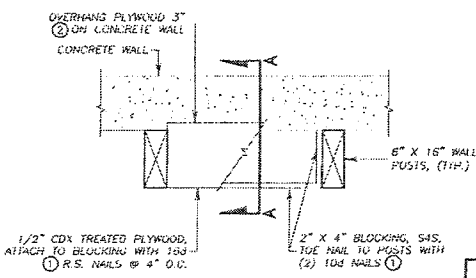
TYPICAL WALL PLYWOOD NAILING DETAIL

VIEWING FROM INSIDE OF STRUCTURE
WALL PLANK NOT SHOWN FOR CLARITY
APPROXIMATELY (15) NAILS PER PLYWOOD PANEL



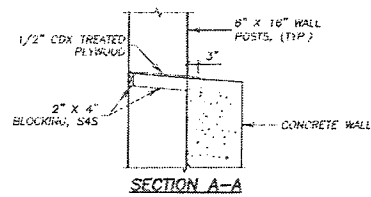
PLYWOOD CONNECTION TO TOP PLATE AT SIDE/LOADWALL

VIEWING FROM INSIDE OF STRUCTURE



WALL POST FILLER DETAIL

PLACE BETWEEN POSTS AT TOP OF CONCRETE WALL



SECTION A-A

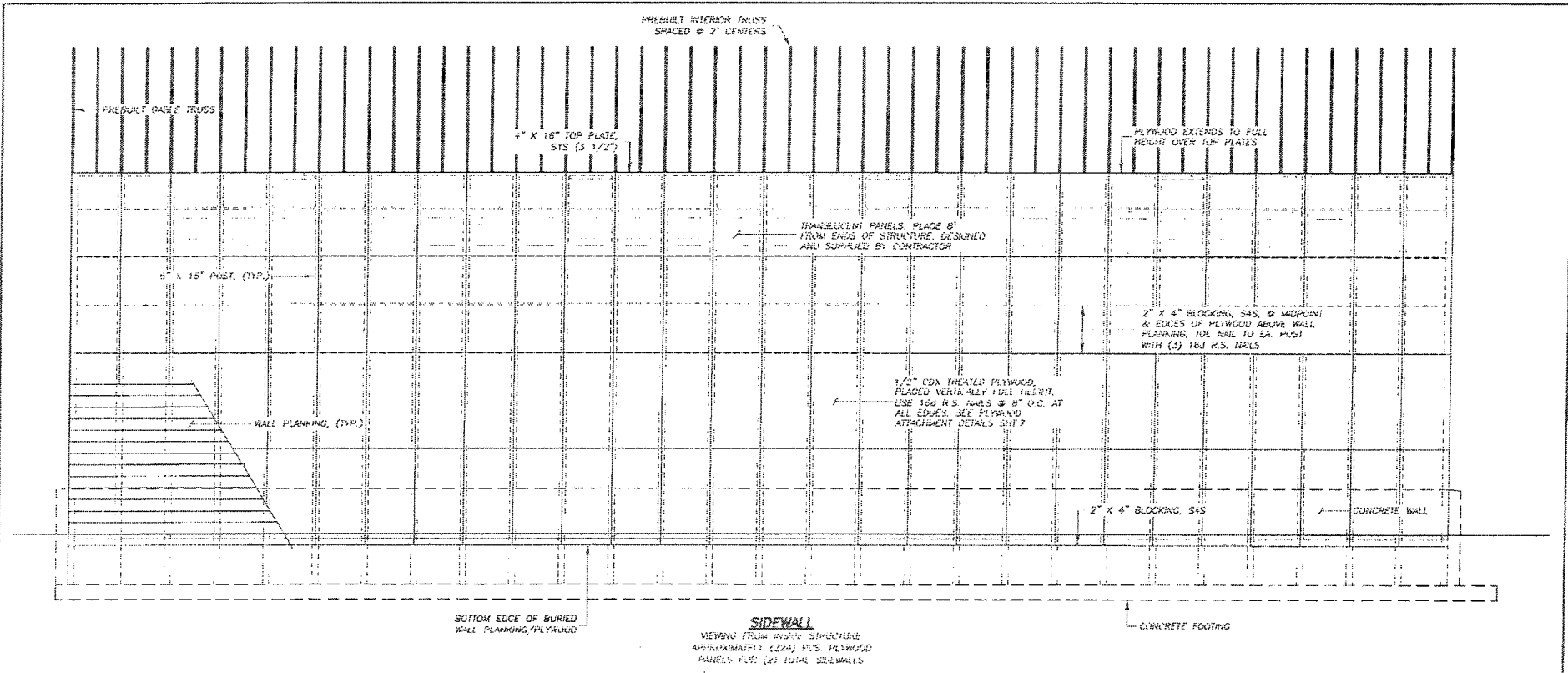
NOTES:

- ① BLOCKING & PLYWOOD TO BE INSTALLED BETWEEN EVERY WALL POST
- ② SEAL ALL PLYWOOD EDGES WITH CAULKING TO PREVENT WATER LEAKAGE AT WALL JOINTS. CAULKING SUPPLIED BY CONTRACTOR



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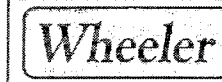
TYPICAL SECTION @ WALL	
DRAWN: LAP	DRAWING# ORDER#
CHKD: WEL	170524A / 11-14050
DATE: 4/10/20	SHEET NO.
	7



SIDEWALL SHEARWALL NOTES:

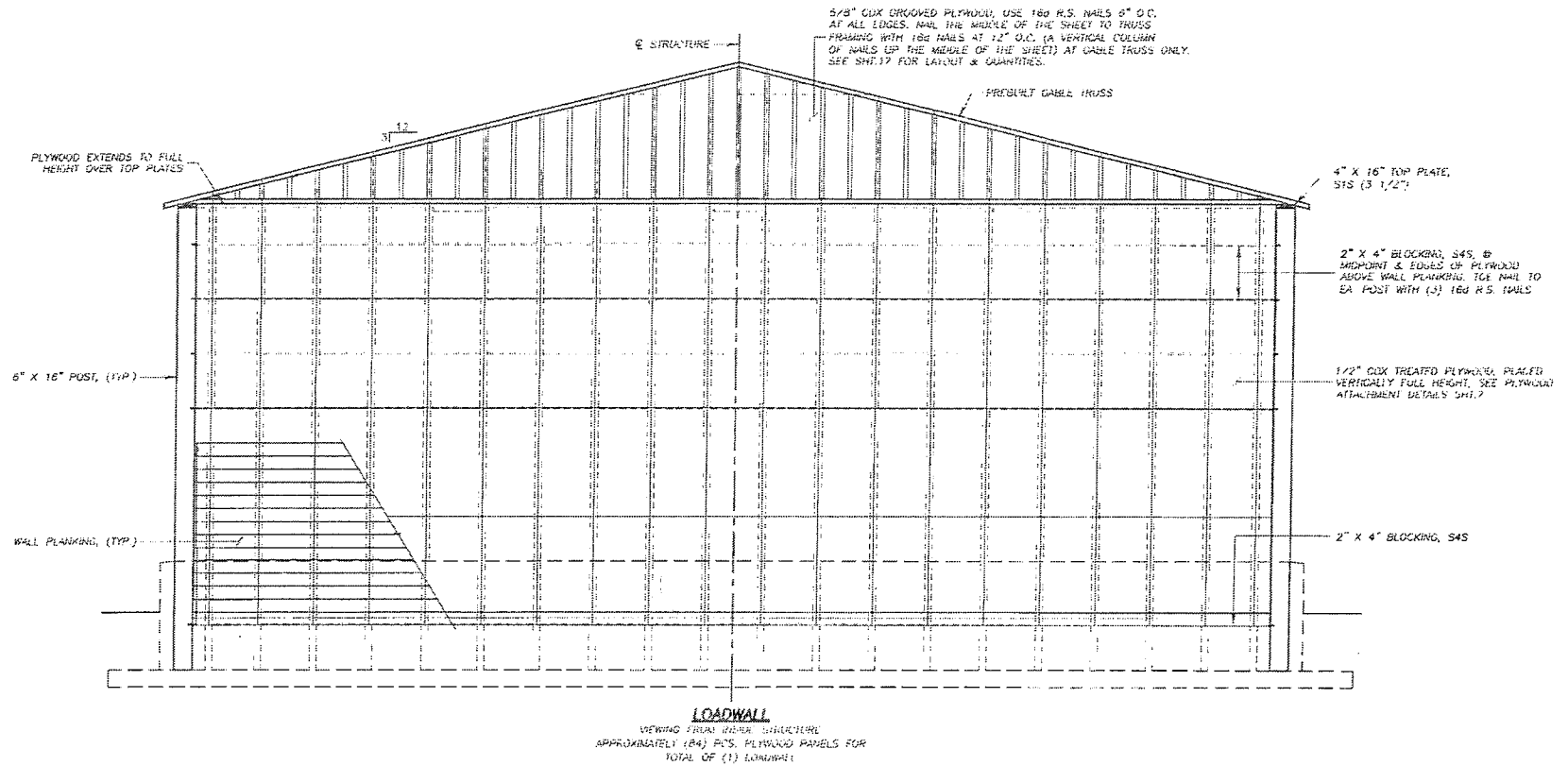
- 1. ALL EXTERIOR PLYWOOD PANEL EDGES SHALL BE PASTERED TO EITHER EXTERIOR FINISHING OR EXISTING BLOCKING.
- 2. WALL FINISHES SHALL BE AS SHOWN IN PLYWOOD WALL DETAIL SHEET.
- 3. PLYWOOD VERTICAL JOINTS OVER WALL FINISHING SHALL BE AT LEAST 1' CLEARANCE FROM THE FINISH OF THE SURFACE. JOINTS SHALL BE WITH EDGES OF PLYWOOD TO THE SAME BOARD. THESE JOINTS ARE TO BE NAIL FROM THE OUTSIDE OF THE WALLING. JOINT REQUIRED IS CONCRETE WALL.
- 4. NAIL THE MIDDLE OF THE PANELS TO EACH WALL PLANK WITH (2) 100 R.S. NAILS (A VERTICAL COLUMN OF NAILS 8" O.C. UP THE MIDDLE OF THE PANEL) NOT REQUIRED IS CONCRETE WALL.
- 5. THE MIDDLE OF ALL PANELS NOT AGAINST WALL FINISHING SHALL BE PASTERED TO BLOCKING. USE 100 R.S. NAILS @ 8" O.C.
- 6. THE VERY BOTTOM OF THE PLYWOOD SHALL HAVE 2" X 4" BLOCKING OR BRICKEN POINTS EVERYWHERE, INCLUDING WHERE THERE IS WALL FINISHING.
- 7. PLYWOOD PANELS SHALL BE 4' X 8' EXCEPT AT BOUNDARIES AND AT CORNER JOINTS WHERE THE MINIMUM DIMENSION SHALL BE 24"

SIDEWALL
VIEWING FROM INSIDE STRUCTURE
APPROXIMATELY 1/2" R/S. PLYWOOD
PANELS FOR (2) TOTAL SHEARWALLS



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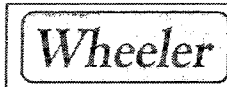
SHEARWALL DETAILS	
DWN: LAF	TRAINING & ORDER#
CHK: WEH	1245244 211-14259
DATE: 4/10/09	SHEET NO.
	8



LOADWALL
VIEWING FROM INTERIOR STRUCTURE
APPROXIMATELY (84) PCS. PLYWOOD PANELS FOR
TOTAL OF (1) LOADWALL

LOADWALL SHEARWALL NOTES:

- 1. ALL ADJACENT PLYWOOD PANEL EDGES SHALL BE FASTENED TO EITHER COMMON FRAMING OR COMMON BLOCKING.
- 2. NAIL PATTERN SHALL BE AS SHOWN IN PLYWOOD NAIL DETAIL SHEET.
- 3. PLYWOOD HORIZONTAL JOINTS OVER WALL PLANKING SHALL BE AT LEAST 1" (MINIMUM) 2" (MAX) FROM THE EDGE OF THE BOARD, TO ALL OR BOTH SIDES OF PLYWOOD TO THE SAME BOARD. JOINTS ALWAYS AND TO BE FORMED FROM THE OUTSIDE OF THE BUILDING. NOT REQUIRED TO CORNERED WALL.
- 4. NAIL THE MIDDLE OF THE PANELS TO EACH WALL PLANK WITH (2) 6" R.S. NAILS (A VERTICAL COLUMN OF NAILS 6" MAX UP THE MIDDLE OF THE PANEL) NOT REQUIRED TO CORNERED WALL.
- 5. THE EDGELINE OF ALL PANELS NOT AGAINST WALL PLANKING SHALL BE FASTENED TO BLOCKING. USE 16D R.S. NAILS @ 6" O.C.
- 6. THE VERT. EDGELINE OF THE PLYWOOD SHALL HAVE 2" X 4" BLOCKING BETWEEN TRUSSES EVERYWHERE, INCLUDING WHERE THERE IS WALL PLANKING.
- 7. PLYWOOD PANELS SHALL BE 4' X 8' EXCEPT AT BEADINGS AND AT CORNER DETAILS WHERE THE MINIMUM DIMENSION SHALL BE 24".



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SHEARWALL DETAILS		
OWN: SAF	PROJECT NO:	170924A 711-14854
DATE: 4/14/20	DATE:	4/14/20
		9

DOORWALL SHEARWALL NOTES:

ALL ADJACENT PLYWOOD PANEL EDGES SHALL BE FASTENED TO EITHER COMMON FRAMING OR VERTICAL BLOCKING.

THE MIDDLE OF ALL PANELS (EXCEPT AT CABLE TRUSS) SHALL BE SUPPORTED BY AND FASTENED TO BLOCKING. USE 16d R.S. NAILS @ 6" O.C.

THE VERY BOTTOM OF THE PLYWOOD SHALL HAVE 2" X 4" BLOCKING BETWEEN PILES EVERYWHERE, INCLUDING WHERE THERE IS WALL FINISHING.

PLYWOOD PANELS SHALL BE 4' X 8' EXCEPT AT BRACKETS AND AT CABLE TRUSS WHERE THE MINIMUM DIMENSION SHALL BE 24"

5/8" CDX GROOVED PLYWOOD, PLACED VERTICALLY PER TRUSS, USE 16d R.S. NAILS AT 6" O.C. AT ALL EDGES

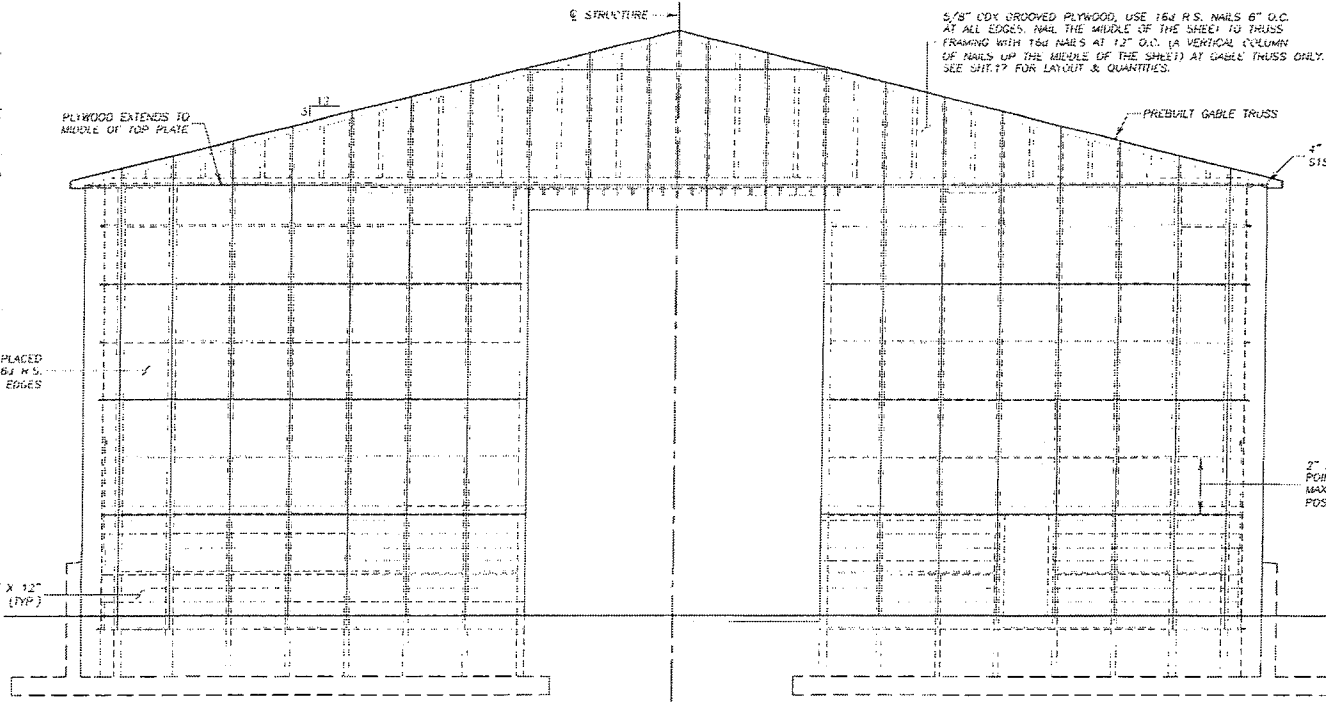
(9) ROWS 2" X 12" WALL FINISHING, (TYP.)

PLYWOOD EXTENDS TO MIDDLE OF TOP PLATE

5/8" CDX GROOVED PLYWOOD, USE 16d R.S. NAILS 6" O.C. AT ALL EDGES. NAIL THE MIDDLE OF THE SHEET TO TRUSS FRAMING WITH 16d NAILS AT 12" O.C. (A VERTICAL COLUMN OF NAILS UP THE MIDDLE OF THE SHEET) AT GABLE TRUSS ONLY. SEE SHEET 17 FOR LAYOUT & QUANTITIES.

4" X 16" TOP PLATE, SIS (3 1/2")

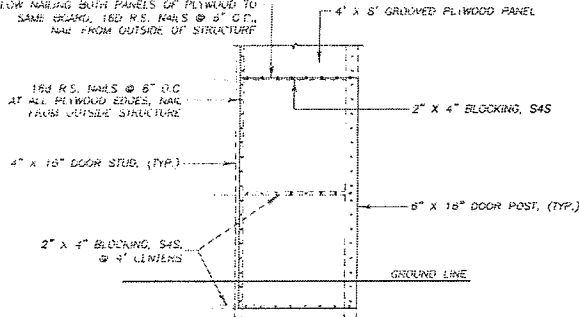
2" X 4" BLOCKING, S4S, AT MID POINT & EDGES OF PLYWOOD, 4 FT. MAX. SPACING, TOE NAIL TO EA. POST WITH (3) 16d R.S. NAILS



DOORWALL

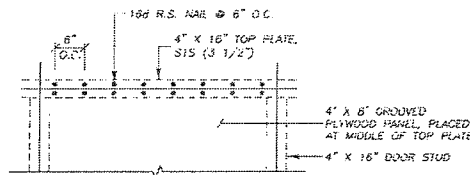
VIEWING FROM INTERIOR STRUCTURE
APPROXIMATELY (70) POS. GROOVED PLYWOOD PANELS
FOR TOTAL OF (1) DOORWALL

PLYWOOD HORIZONTAL JOINTS SHALL BE AT LEAST 1" FROM THE EDGE OF THE BOARD TO AVOID NAILING BOTH PANELS OF PLYWOOD TO SAME BOARD. USE 16d R.S. NAILS @ 6" O.C. NAIL FROM OUTSIDE OF STRUCTURE



GROOVED PLYWOOD NAILING DETAIL

VIEWING FROM INTERIOR OF STRUCTURE
APPROXIMATELY (56) NAILS PER PLYWOOD PANEL



PLYWOOD CONNECTION TO TOP PLATE AT DOORWALL

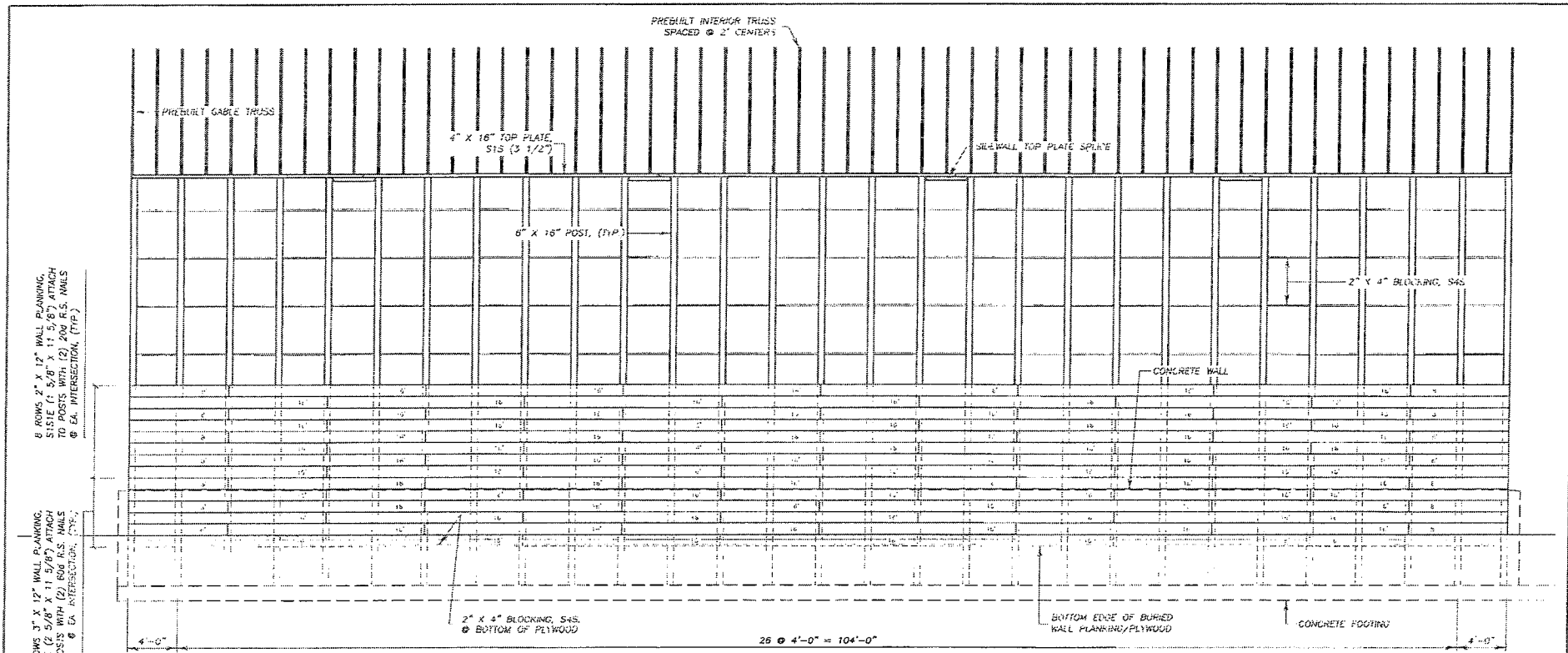
VIEWING FROM OUTSIDE OF STRUCTURE



9531 W 78th St., Ste. 100
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SHEARWALL DETAILS

DRWN: LAF	TRACER/REV: URQUHART
CHK: WEH	1209246 711-14659
DATE: 4/10/20	SHEET NO: 10

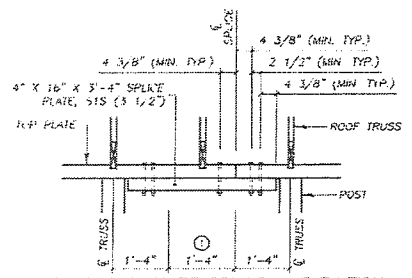


6 ROWS 2" X 12" WALL PLANKING, S/S/E (L 5/8" X 11 5/8") ATTACH TO POSTS WITH (2) 200 K.S. NAILS @ EA. INTERSECTION (TYP.)

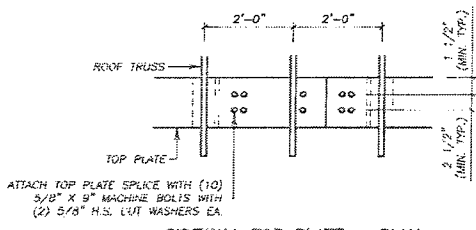
6 ROWS 3" X 12" WALL PLANKING, S/S/E (L 5/8" X 11 5/8") ATTACH TO POSTS WITH (1) 200 K.S. NAILS @ EA. INTERSECTION (TYP.)

NOTE:
 ① TOP PLATE SPLICE SHALL BE LOCATED WITHIN THIS ZONE EXCEPT SHALL BE 1" (MIN.) FROM FACE OF ROOF TRUSS.

SIDEWALL FRAMING
 VENTED FRAMING WALL STRUCTURE
 PLYWOOD INSTALLED BEFORE WALL PLANKING
 PLYWOOD NOT SHOWN FOR CLARITY

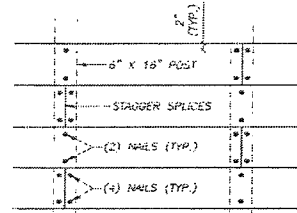


SIDEWALL TOP PLATE SPLICE ~ ELEVATION



ATTACH TOP PLATE SPLICE WITH (10) 5/8" X 9" MACHINE BOLTS WITH (2) 5/8" H.S. CUT WASHERS EA.

SIDEWALL TOP PLATE ~ PLAN

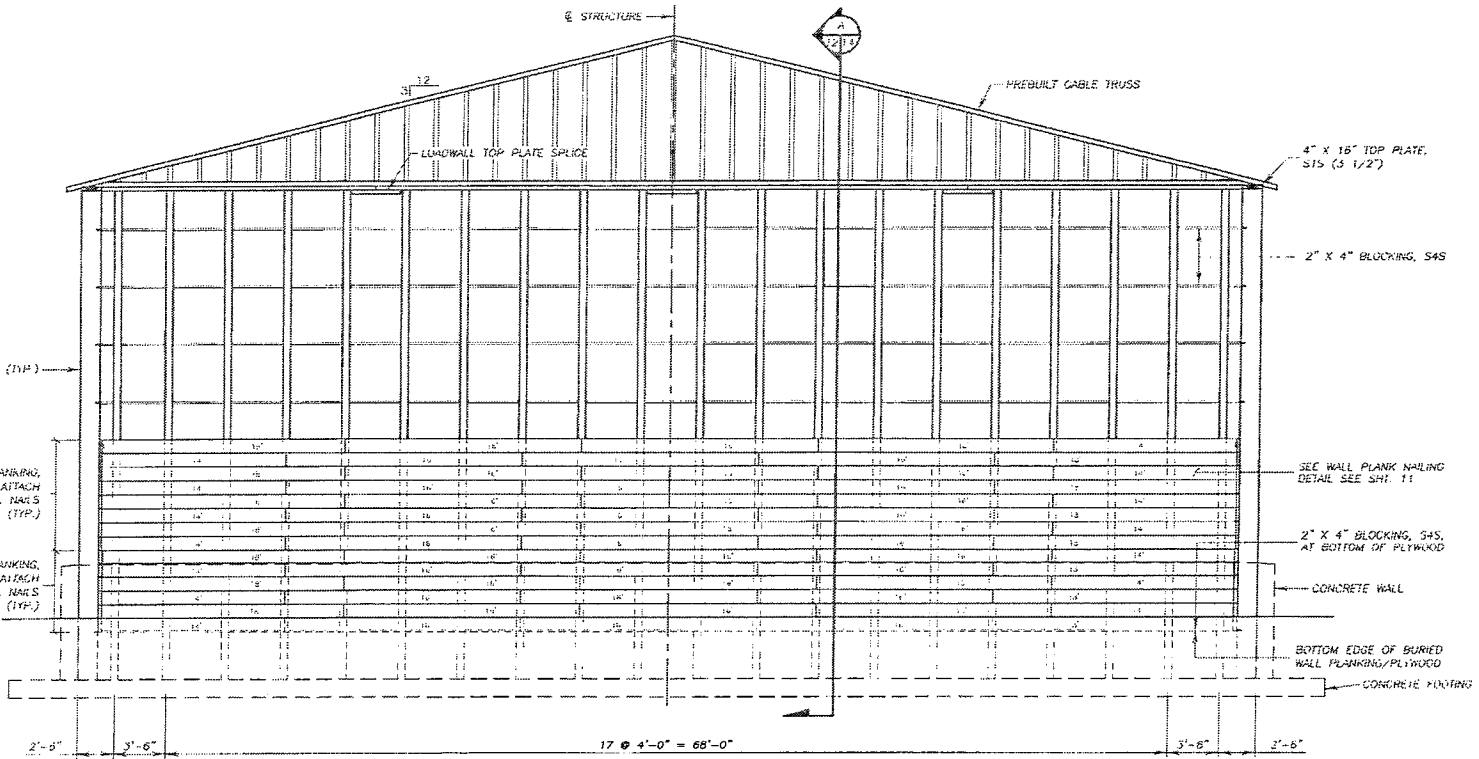


WALL PLANK NAILING DETAIL



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 wheeler1892.com

SIDEWALL FRAMING		
DRW.: LAH	TRACER #	05292
CHK.: WLH	120524A	11-14-20
DATE: 4/11/20	SHEET NO.	11



6" x 16" POST, (TYP.)

8 ROWS 2" x 12" WALL PLANKING, S1S (1 5/8" x 11 5/8") ATTACH TO POSTS WITH (2) 20# R.S. NAILS @ EA. INTERSECTION, (TYP.)

6 ROWS 4" x 12" WALL PLANKING, S1S (2 5/8" x 11 5/8") ATTACH TO POSTS WITH (2) 20# R.S. NAILS @ EA. INTERSECTION, (TYP.)

4" x 16" TOP PLATE, S1S (3 1/2")

2" x 4" BLOCKING, S4S

SEC WALL PLANK NAILING DETAIL SEE SH. 11

2" x 4" BLOCKING, S4S, AT BOTTOM OF PLYWOOD

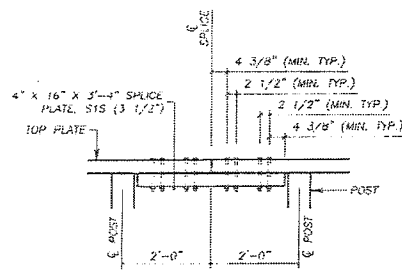
CONCRETE WALL

BOTTOM EDGE OF BURIED WALL PLANKING/PLYWOOD

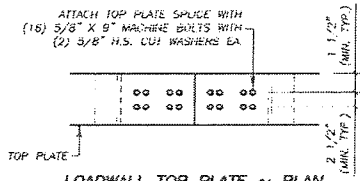
CONCRETE FOOTING

2'-0" 3'-6" 17 @ 4'-0" = 68'-0" 3'-6" 2'-6"

LOADWALL FRAMING
 UPWARD FROM EXIST. STRUCTURE
 PLYWOOD INSTALLED BEFORE WALL FRAMING.
 PLYWOOD NOT SHOWN FOR CLARITY



LOADWALL TOP PLATE SPICE ~ ELEVATION
 LOADWALL SIMILAR



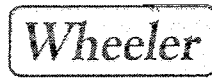
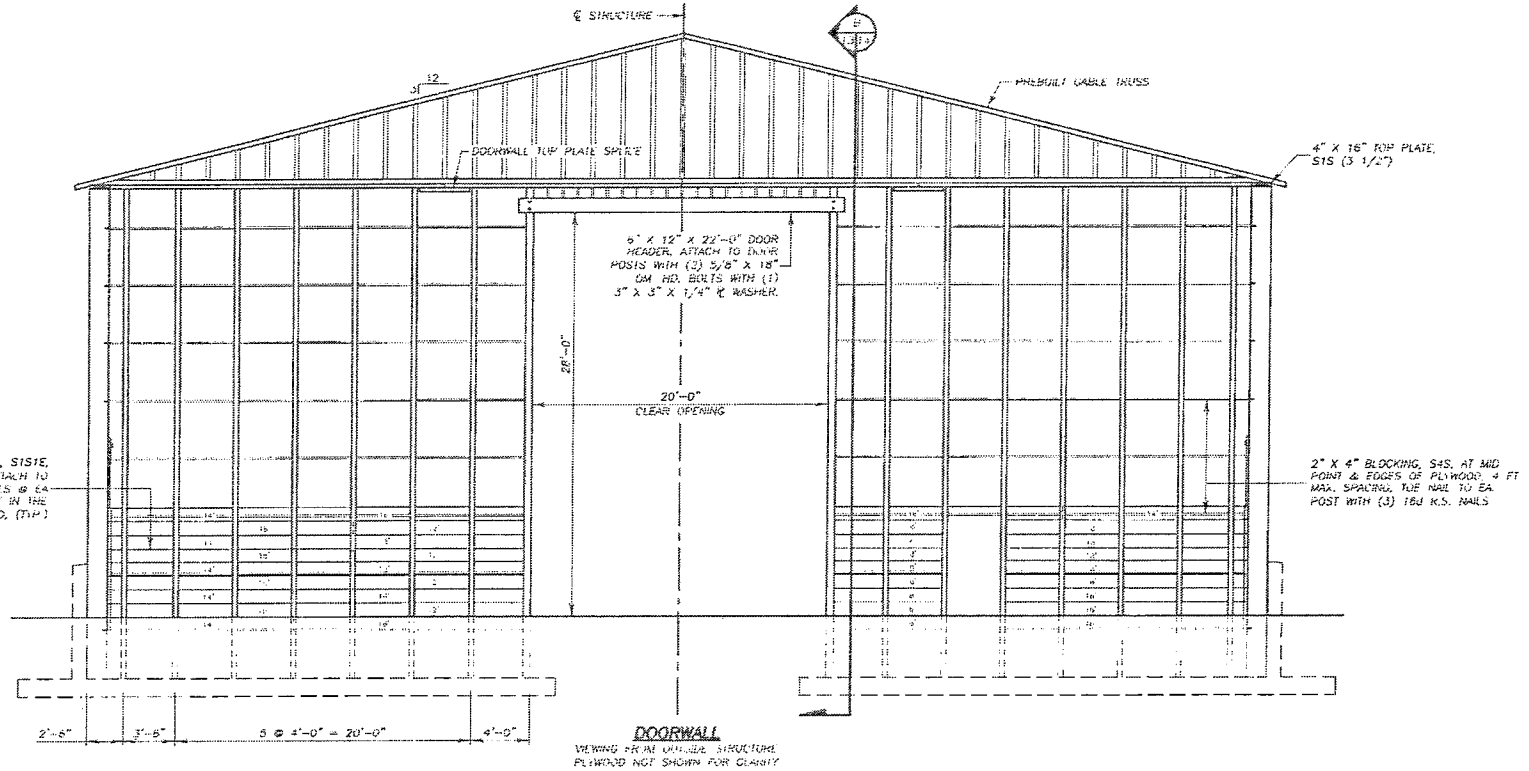
LOADWALL TOP PLATE ~ PLAN
 LOADWALL SIMILAR



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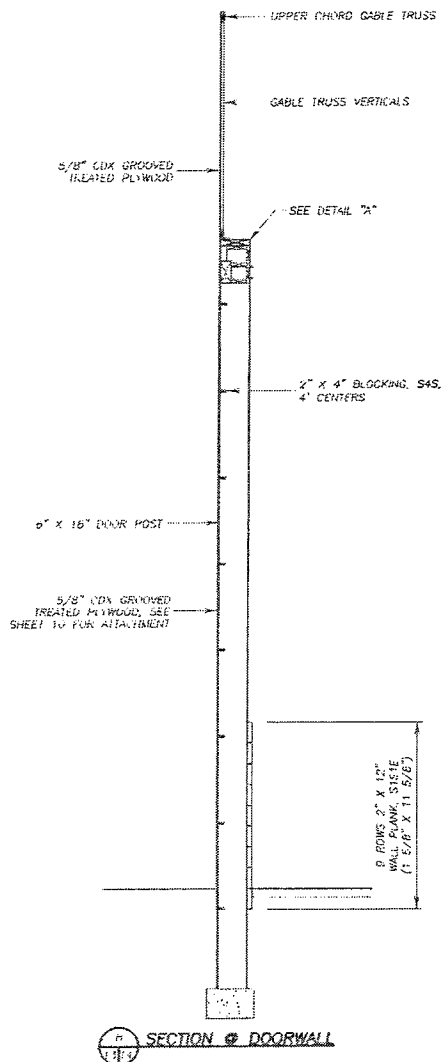
LOADWALL FRAMING	
OWN. LAF	TRACKING# 000000
CHK. MEM	120924A 717-14659
DATE: 4/10/20	SHEET NO.

(9) PLWS 2" X 12" MATERIAL, S1S1E,
 (1) 5/8" X 11 5/8", ATTACH TO
 POSTS WITH (2) 200 K.S. NAILS @ EA.
 INTERSECTION, CUT TO FIT IN THE
 HEAD. (TYP.)

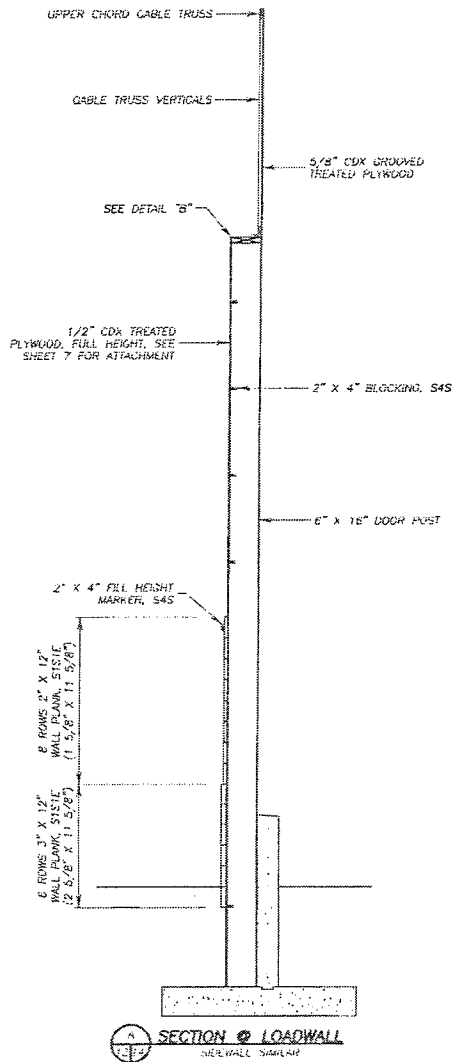


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 952-929-7834
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 wheeler1892.com

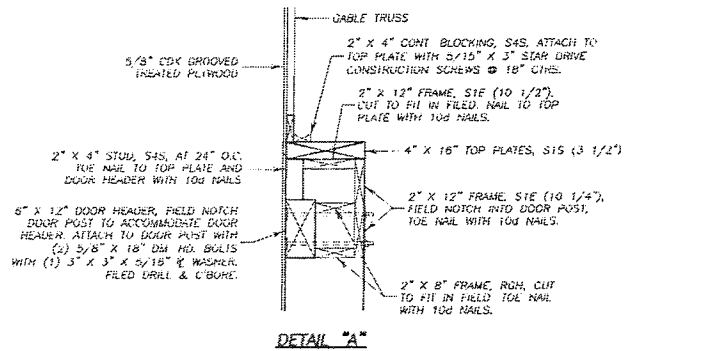
DOORWALL FRAMING			
DWN.: LAF	TRACER/	UNVER/2	
CHK.: WEH	120924A	711-14659	
DATE: 4/10/20	SHEET NO.		13



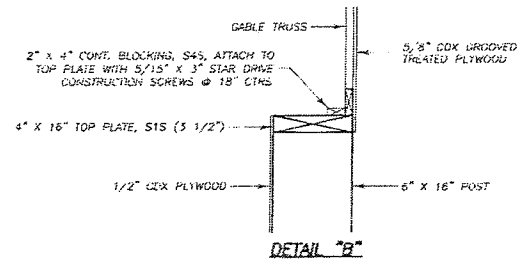
SECTION @ DOORWALL



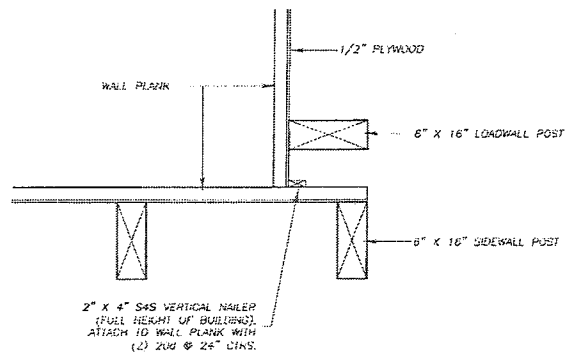
SECTION @ LOADWALL
SIDEWALL SHAPING



DETAIL "A"



DETAIL "B"

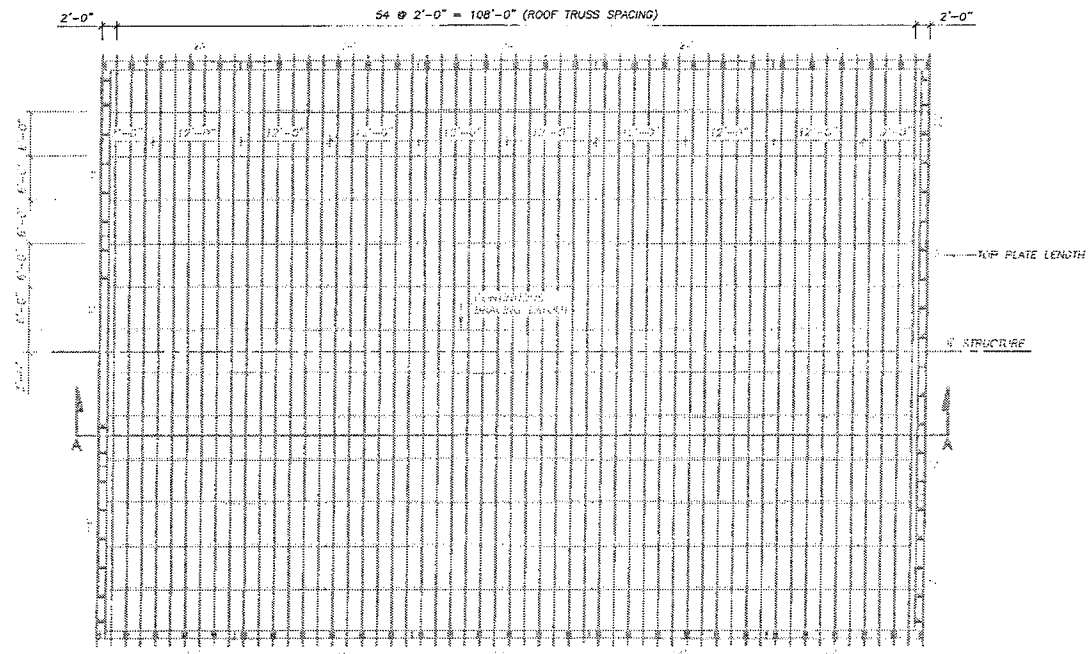


CORNER DETAIL
AT SIDEWALL/LOADWALL



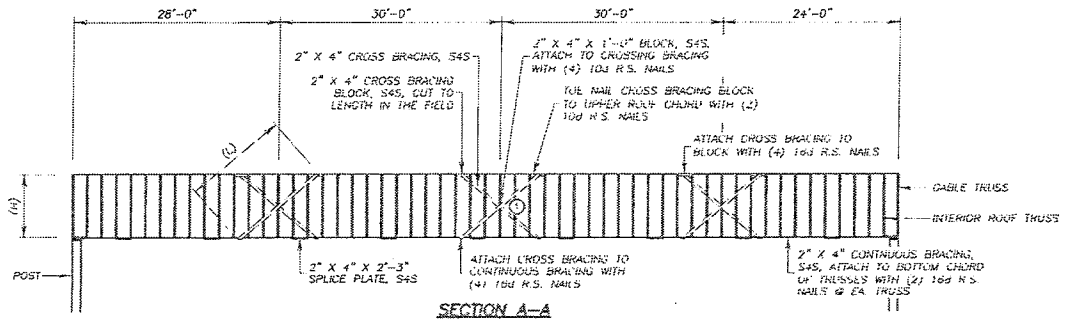
9531 W. 70th St., Ste. 110
Eden Prairie, MN 55344
952-929-7854
info@wheeler1892.com
wheeler1892.com

SECTION @ WALLS	
DRN: LAR	TRAINING# 00000#
CHK: WLM	T20924A 711-146-9
DATE: 4/10/20	SHEET NO



- NOTES:**
- PROVIDE 3 X 4 BRACES PER CONTINUOUS BRACE, SPACE EQUALLY IN BRACING LENGTH, AVOID TRUSS BRACE SPLICE
 - WIDTH (W) SHALL APPROXIMATELY EQUAL HEIGHT (H).
 - FIELD CUT TOP PLATES AS NEEDED SEE SHEETS 11 & 12 FOR TOP PLATE SPLICE DETAIL.
 - ① PROVIDE 2" X 4" BLOCK BETWEEN BRACE WHEN (L) ENCLOSED 1/1

TRUSS & TOP PLATE LAYOUT

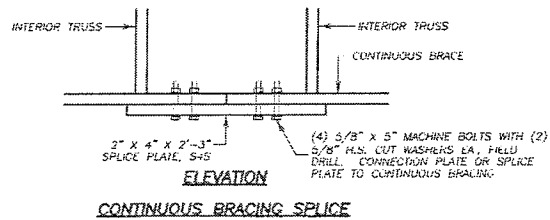
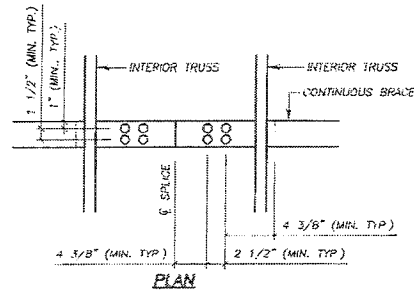


SECTION A-A

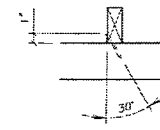
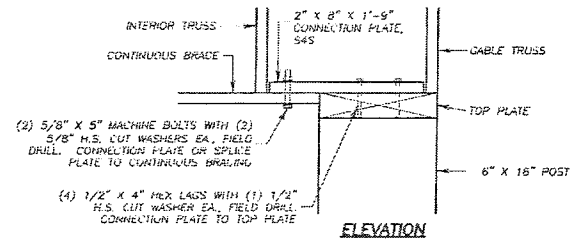
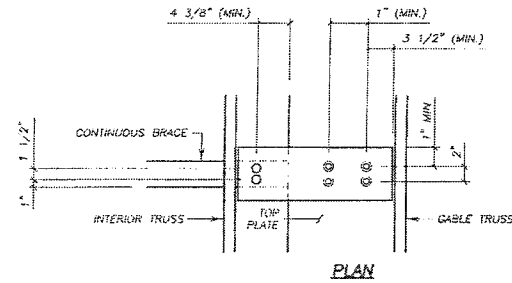


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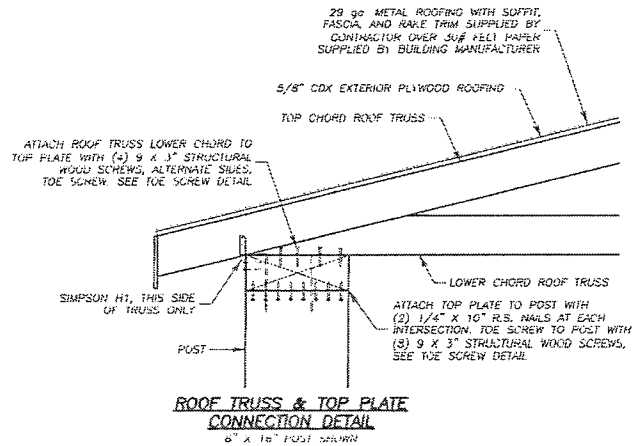
ROOF FRAMING		
DWN. (AF)	TRAIL NUMBER	DATE
CHA. WELH	120924A 711-14609	4/10/20
	SHEET NO.	
		15



NOTE:
CONTINUOUS BRACING SPLICES MAY BE LOCATED ANYWHERE, MIN. EDGE AND SPACING DISTANCES SHALL BE MAINTAINED



THE SHALLOWS OF TRUSS MUST BE Nailed THROUGH SOLID WOOD, IT IS ACCEPTABLE TO PLACE THROUGH TRUSS PLATE. 2" MIN SPACING



Wheeler

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Info@wheeler1892.com
wheeler1892.com

CONNECTION DETAILS			
DWN. 14"	TRACING#	ORDER#	
CHK. WEN	T209244	711-14654	
DATE: 4/10/20		SHEET NO.	16

ROOF DIAPHRAGM NOTES:

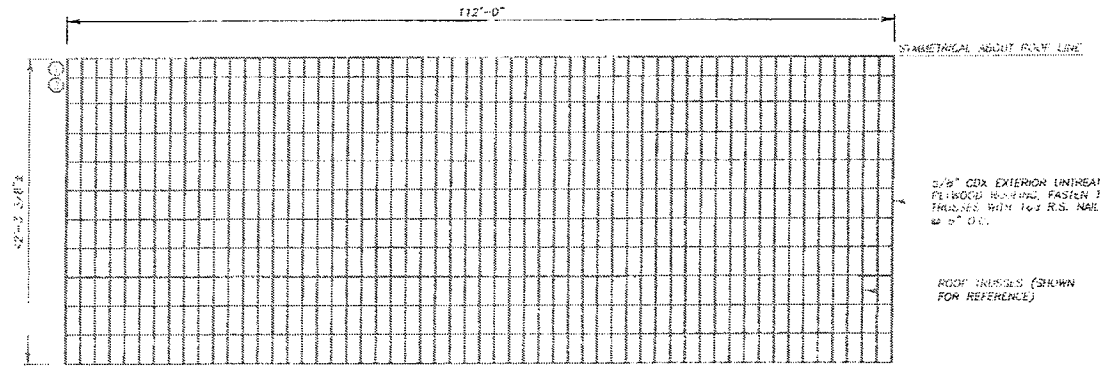
ALL ADJACENT PLYWOOD PANEL EDGES THAT ARE PARALLEL TO TRUSSES SHALL BE FASTENED TO A LAMINATION TRUSS.

PLYWOOD PANELS SHALL BE 4' X 8' EXCEPT AT END BRACES WHERE THE MINIMUM SHEET DIMENSION SHALL BE 24".

- ① TOP ROW OF ROOF PLYWOOD TO BE A MIN. OF 24" WIDE
- ② SECOND ROW FROM TOP TO BE FIELD MEASURED & CUT AS REQUIRED. MINIMUM WIDTH DIMENSION SHALL BE 24"
- ③ SEE TRUSS INFO SPECIFICATION SHEET(S) FOR LOCATION OF CONTINUOUS WEB BRACES.

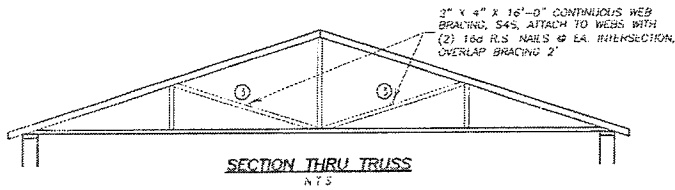
FIELD VERIFY

Dimensions shown are approximate only. Final dimensions to be determined in the field.



ROOF DIAPHRAGM PLAN VIEW

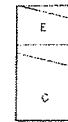
(JOB) 4' X 8' X 3/8" SHEET PLYWOOD (TYPE HOA)
DIMENSIONS SHOWN ARE APPROXIMATE ONLY
FINAL DIMENSIONS TO BE DETERMINED IN THE FIELD



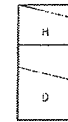
2 SHEETS THIS
2 SHEET THIS REVERSE



2 SHEETS THIS
2 SHEET THIS REVERSE



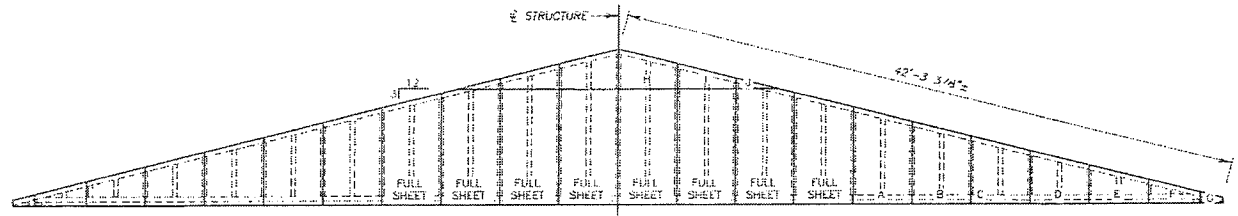
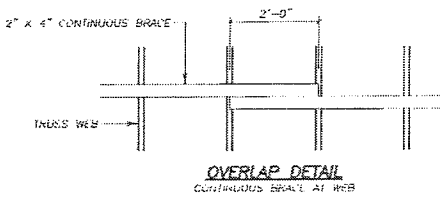
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2 SHEETS THIS
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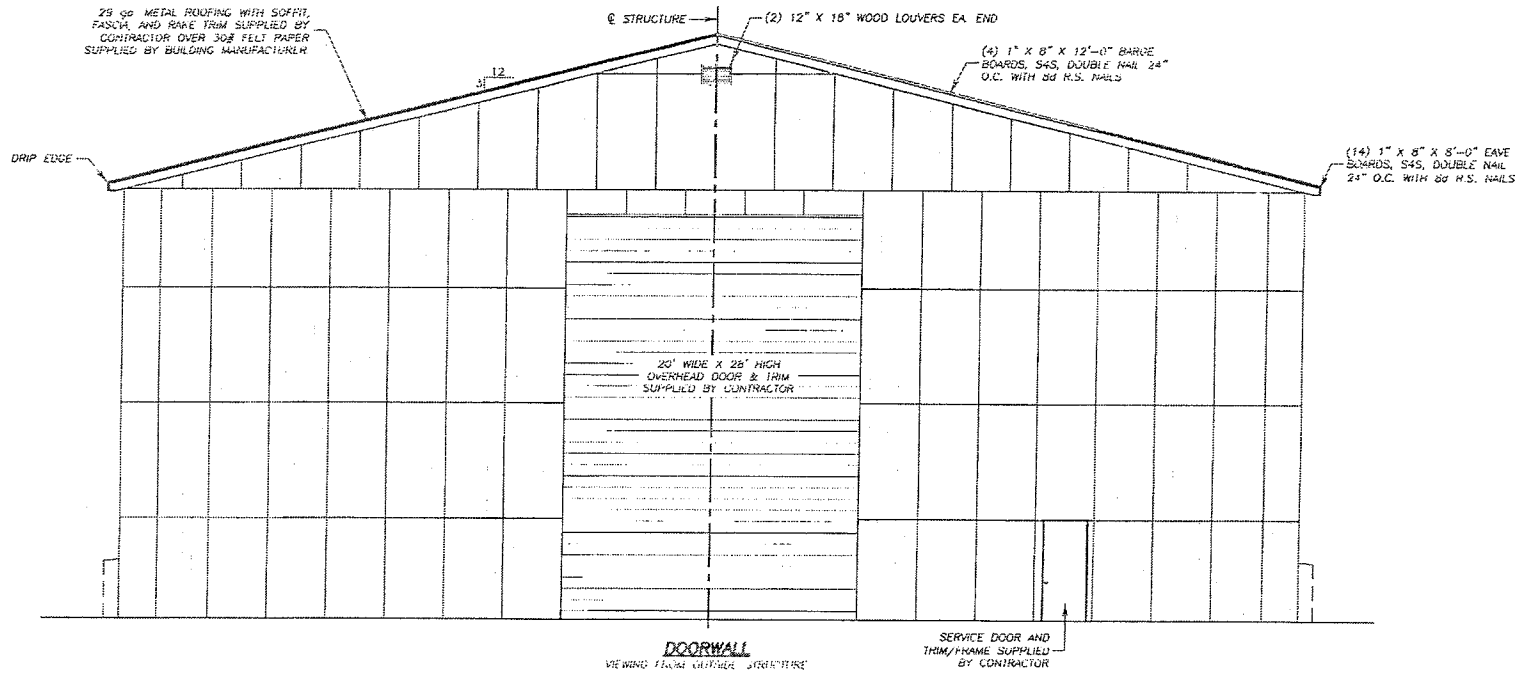
SUGGESTED GABLE END CUTTING PATTERN DETAIL

(JOB) 4' X 8' X 3/8" SHEET PLYWOOD (TYPE HOA)
LAYOUT SHOWN IS APPROXIMATE ONLY
FINAL LAYOUT TO BE DETERMINED IN THE FIELD
CONNECTION TO TOP PLATE SHALL BE AS SHOWN ON
PLYWOOD CONNECTION TO TOP PLATE DETAIL ON SHEET 10'



3531 W. 79th St., Ste. 160
Eden Prairie, MN 55344
952-929-7854
info@wheeler1892.com
wheeler1892.com

ROOF DIAPHRAGM DETAILS		
DWN. LAF	11/20/2020	UMDLS#
CHK: WEH	120924A	711-14609
DATE: 4/10/20	SHEET NO.	17

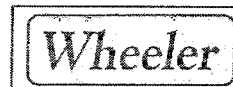


DOORWALL PLYWOOD NOTES:

ALL EDGES OF ALL PANELS SHALL BE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING ALL EDGES SHALL BE FASTENED TO FRAMING WITH 8D NAILS AT 6" O.C.

THE MIDPOINT OF ALL PANELS SHALL BE SUPPORTED UP AND FASTENED TO BEAMING ELSE 10D H.S. NAILS AT 6" O.C.

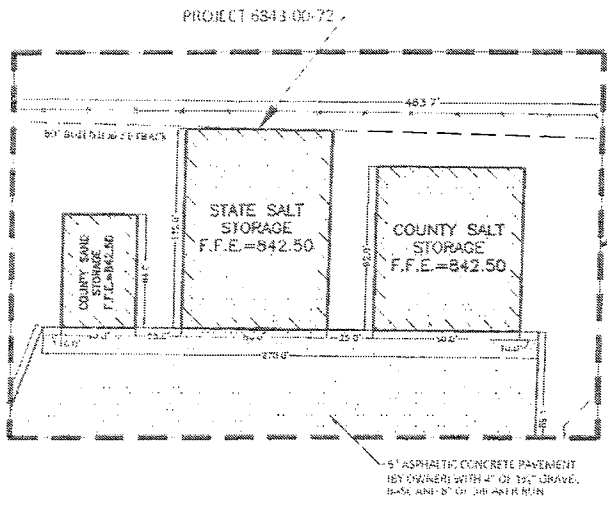
NAIL PATTERN SHALL BE AS SHOWN IN PLYWOOD NAIL DETAIL ON SHEET 10.



9531 W 75th St, Site 100
Eden Prairie, MN 55344
952-928-7854
info@wheeler1892.com
wheeler1892.com

FINISHING AND MISC. DETAILS

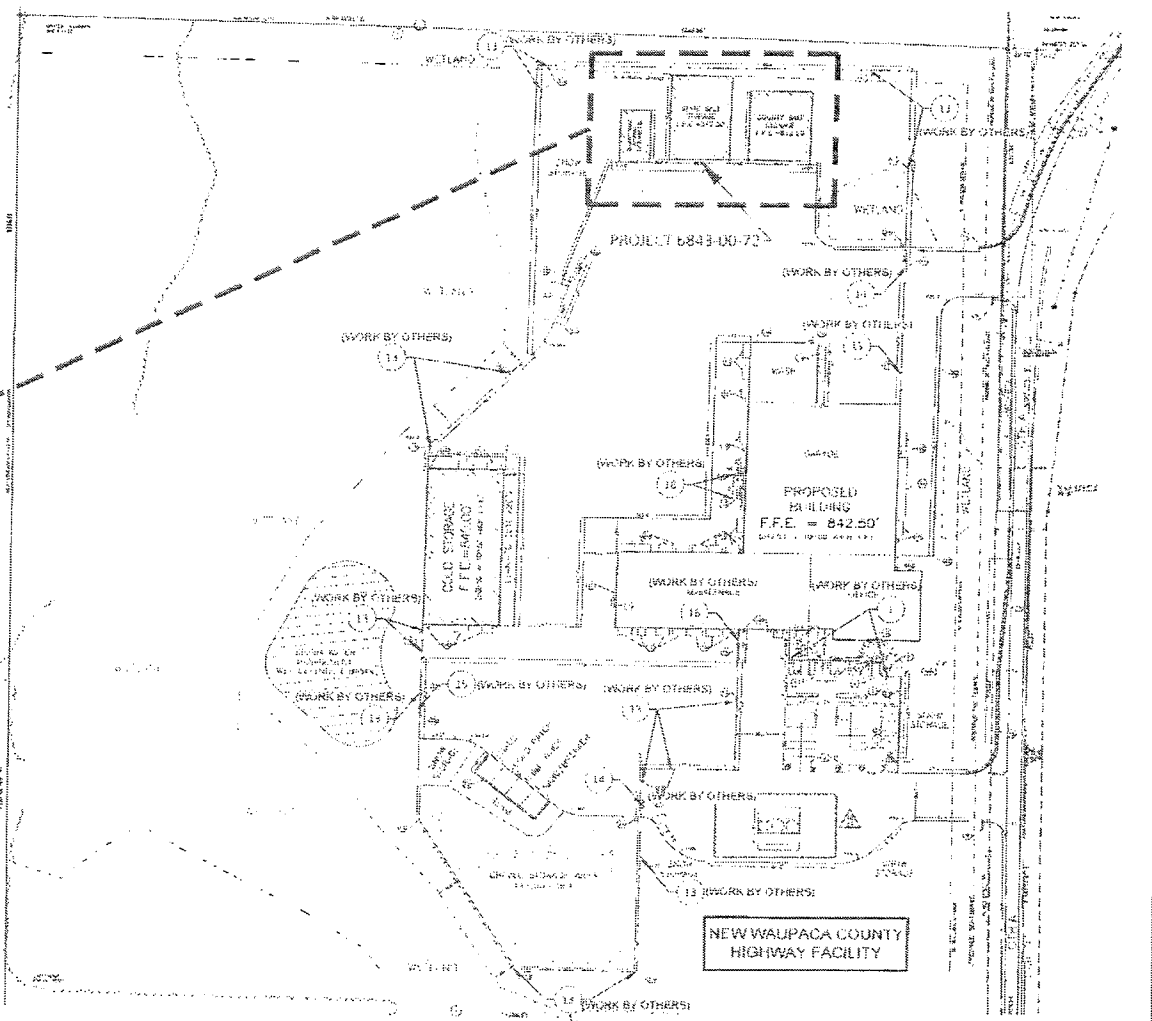
OWNER: LAF	FINISHING: CRUKLE
CLIENT: WEH	T2021MA 711-14609
DATE: 4/10/20	SHEET NO. 18



LOCATION OF STATE SALT STORAGE

LEGEND

- (1) THICKENED EDGE WALK (WORK BY OTHERS)
- (2) 8' TALL CHAIN LINK SECURITY FENCE (WORK BY OTHERS)
- (3) 10' SECURITY CHAIN LINK CANTILEVER GUIDE (WORK BY OTHERS)
- (4) 20' SECURITY CHAIN LINK SWING GATE (WORK BY OTHERS)
- (5) 6' WIDE SECURITY CHAIN LINK MAIN GATE (WORK BY OTHERS)
- (6) CONCRETE BOLLARD (WORK BY OTHERS)



NEW WAUPACA COUNTY
HIGHWAY FACILITY



9031 W. 96th St., Ste 100
Eden Prairie, MN 55349
952-929-7854
info@wheelerid2.com
wheeler1897.com

PLOT PLAN	
Drawn By	IRVING GORDON
Proj. No.	120924A / 11 3-809
Date	08/11/09

**COMMITTEE REVIEW REPORT
WITH DESCRIPTION
FOR THE MONTH OF DECEMBER 2020**

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
18-1810-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	12,355.00
18-1810-0000-63500	R&M Supplies	P2000067	02/04/2021	HARRIS ACE HARDWARE LLP	SUPPLIES FOR COURTHOUSE	57.79
Facilities Management PR0G TOTAL						12,412.79
18-1811-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	1,113.00
Public Health/COA PR0G TOTAL						1,113.00
18-1812-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	1,050.00
Youth Services Center PR0G TOTAL						1,050.00
18-1815-0000-62119	Other Services	P2000257	02/25/2021	BADGERLAND DISPOSAL	TRASH & RECYCLING SERVICE	165.00
18-1815-0000-62400	R & M Services	P2000332	02/04/2021	JOHNSON CONTROLS INC	DIAPHRAGM PACKAGE OF 3	532.96
HCC Building Complex PR0G TOTAL						697.96
18-1816-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	700.00
Communication Center PR0G TOTAL						700.00
18-1817-0000-62400	R & M Services	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	1,324.75
ASC Building PR0G TOTAL						1,324.75
18-1818-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	2,175.11
18-1818-0000-62400	R & M Services	P2000107	02/04/2021	QUALITY DOOR LLC	SALLY PORT DOOR	330.75

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Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
Jail PR0G TOTAL						2,505.86
18-1820-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	1,170.75
Eclipse Center PR0G TOTAL						1,170.75
18-1821-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	4,497.50
Job Center PR0G TOTAL						4,497.50
18-1822-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	891.80
Franklin Street PR0G TOTAL						891.80
18-1823-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONTRACT	346.50
Court Street PR0G TOTAL						346.50
18-1824-0000-62160	Cleaning Contrac	P2100210	02/25/2021	DIVERSIFIED BUILDING MAINTENAN	CLEANING CONRTACT	1,023.93
Hwy Buildings and Grounds PR0G TOTAL						1,023.93
18-1857-0000-67200	Captial Improve	P2001702	02/25/2021	JP CULLEN AND SONS INC	RENOVATION OF 1717 CENTER AVEN	1,280,700.00
Human Services Building PR0G TOTAL						1,280,700.00

ROCK COUNTY

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<u>Account Number</u>	<u>Account Name</u>	<u>PO#</u>	<u>Check Date</u>	<u>Vendor Name</u>	<u>Description</u>	<u>Inv/Enc Amt</u>
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I have reviewed the preceding payments in the total amount of **\$1,308,434.84**

Date:

Dept Head _____

Committee Chair _____

ROCK COUNTY

**COMMITTEE REVIEW REPORT
WITH DESCRIPTION
FOR THE MONTH OF FEBRUARY 2021**

02/25/2021

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
18-1810-0000-61920	Physicals	P2002131	02/25/2021	SSM HEALTH MEDICAL GROUP	EXAMS AND TESTING FOR	678.00
18-1810-0000-62119	Other Services	P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR COURTHOUSE	138.67
		P2100240	02/11/2021	ALSCO INC	UNIFORMS FOR COURTHOUSE	116.84
		P2100268	02/18/2021	UNIFIRST CORP	COURTHOUSE UNIFORMS	173.46
		P2100745	02/11/2021	SAFEWAY PEST CONTROL	YEARLY JOB CENTER	134.00
		P2100872	02/18/2021	DIVERSIFIED BUILDING MAINTENAN	ELECTROSTATIC SPRAY - HR / ADM	2,752.50
18-1810-0000-62400	R & M Services	P2100201	02/04/2021	HOH WATER TECHNOLOGY INC	WATER TREATMENT CONTRACT	5,502.00
		P2100260	02/18/2021	SCHROEDER LAWN AND SNOW LLC	SNOW REMOVAL	525.00
		P2100501	02/25/2021	GNC CONCRETE LLC	SNOW PLOWING	1,112.50
		P2100814	02/18/2021	GENERAL HEATING AND AIR CONDIT	SERVICE AND REPAIR OF HEATING	1,090.20
18-1810-0000-63200	Pubs/Subs/Dues	P2100214	02/18/2021	US BANK	MEMBERSHIP DUES	45.00
18-1810-0000-63500	R&M Supplies	P2100162	02/04/2021	GRAINGER	BOTTLE FILL WATER COOLERS	3,804.42
		P2100164	02/04/2021	HARRIS ACE HARDWARE LLP	SUPPLIES FOR COURTHOUSE	66.66
		P2100168	02/25/2021	MENARDS	LAW LIBRARY DEMO SUPPLIES	491.90
		P2100187	02/18/2021	WERNER ELECTRIC SUPPLY COMPANY	CASA OUTLETS	154.32
		P2100188	02/25/2021	JANESVILLE WINSUPPLY COMPANY	AHU FILTERS	1,270.30
		P2100214	02/18/2021	US BANK	SUPPLIES FOR COURTHOUSE	1,017.20
		P2100774	02/04/2021	PORTERS LAWN AND POWER EQUIPME	2 CYCLE OIL	12.00
18-1810-0000-64200	Training	P2100910	02/25/2021	JJ KELLER AND ASSOCIATES INC	ESSENTIAL ONLINE TRAINING FOR	2,995.00
Facilities Management PROG TOTAL						22,079.97
18-1811-0000-62119	Other Services	P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR HEALTH/COA	113.75
		P2100240	02/25/2021	ALSCO INC	LOST CLOTHING - COURTHOUSE	114.76
		P2100745	02/11/2021	SAFEWAY PEST CONTROL	YEARLY FOR HEALTH	62.00
18-1811-0000-62400	R & M Services	P2000690	02/25/2021	REES SCIENTIFIC CORP	CLOUD SHARE POINT RENEWAL HEAL	403.20

ROCK COUNTY

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02/25/2021

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
18-1811-0000-63500	R&M Supplies	P2100501	02/25/2021	GNC CONCRETE LLC	SNOW PLOWING	323.50
		P2100815	02/18/2021	FOLEY ELECTRIC INC	TROUBLE SHOOT AND REPAIR	190.00
		P2100168	02/25/2021	MENARDS	EMERGENCY LIGHT	99.98
		P2100187	02/11/2021	WERNER ELECTRIC SUPPLY COMPANY	SUPPLIES FOR TRI BUILDINGS	494.84
Public Health/COA PRG TOTAL						1,802.03
18-1812-0000-62119	Other Services	P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR YSC	113.75
		P2100745	02/11/2021	SAFEWAY PEST CONTROL	YEARLY FOR YSC	70.00
		P2100872	02/18/2021	DIVERSIFIED BUILDING MAINTENAN	ELECTROSTATIC SPRAY	300.00
18-1812-0000-62400	R & M Services	P2100201	02/04/2021	HOH WATER TECHNOLOGY INC	WATER TREATMENT CONTRACT	50.00
		P2100204	02/18/2021	CONGRESS GLASS INC	INSTALL SECURITY GLASS AT YSC	1,566.00
		P2100501	02/25/2021	GNC CONCRETE LLC	SNOW PLOWING	720.00
		P2100849	02/25/2021	SIEMENS INDUSTRY INC	SERVICE CALL	959.00
18-1812-0000-63500	R&M Supplies	P2100162	02/25/2021	GRAINGER	PRINTER TONER	334.65
		P2100168	02/04/2021	MENARDS	SPEAKERS FOR SGTS	16.99
		P2100187	02/11/2021	WERNER ELECTRIC SUPPLY COMPANY	SUPPLIES FOR YSC	245.80
		Youth Services Center PRG TOTAL				
18-1815-0000-62119	Other Services	P2100239	02/25/2021	BADGERLAND DISPOSAL	TRASH & RECYCLING SERVICE	354.08
		P2100240	02/18/2021	ALSCO INC	UNIFORMS	47.56
		P2100265	02/04/2021	UNIFIRST CORP	UNIFORMS	35.05
		P2100745	02/11/2021	SAFEWAY PEST CONTROL	YEARLY FOR LAUNDRY BUILDING	44.00
18-1815-0000-62160	Cleaning Contrac	P2100261	02/18/2021	DIVERSIFIED BUILDING MAINTENAN	COVID19 ELECTROSTATIC SPRAY	12,095.00
18-1815-0000-62400	R & M Services	P2100276	02/04/2021	PORTERS LAWN AND POWER EQUIPME	LABOR & PARTS	117.10
		P2100284	02/25/2021	US BANK	HCC REPAIR & MAINT	717.16
		P2100331	02/04/2021	JOHNSON TRACTOR INC	RENTAL OF A KUBOTA SSV65 WITH	5,500.00

ROCK COUNTY

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02/25/2021

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
18-1815-0000-63500	R&M Supplies	P2100501	02/25/2021	GNC CONCRETE LLC	SNOW PLOWING	3,555.00
		P2100214	02/18/2021	US BANK	SUPPLIES FOR HCC	208.20
		P2100234	02/18/2021	AIRGAS NORTH CENTRAL	AIRGAS	147.67
		P2100269	02/11/2021	KWIK TRIP EXTENDED NETWORK	FUEL	134.79
		P2100284	02/25/2021	US BANK	HCC REPAIR & MAINT	95.30
		P2100413	02/18/2021	MOTION INDUSTRIES INC	LFTSC100 2 BOLT FLG 124645	96.68
		P2100434	02/11/2021	MENARDS	REPAIR & MAINT	374.69
		HCC Building Complex PROG TOTAL				
18-1816-0000-62119	Other Services	P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR 911	45.50
18-1816-0000-62400	R & M Services	P2100201	02/04/2021	HOH WATER TECHNOLOGY INC	WATER TREATMENT CONTRACT	50.00
		P2100501	02/25/2021	GNC CONCRETE LLC	SNOW PLOWING	525.00
18-1816-0000-63500	R&M Supplies	P2100214	02/18/2021	US BANK	SUPPLIES FOR 911	537.28
		Communication Center PROG TOTAL				
18-1817-0000-62119	Other Services	P2100745	02/11/2021	SAFEWAY PEST CONTROL	YEARLY FOR TRI	18.80
18-1817-0000-62400	R & M Services	P2100201	02/04/2021	HOH WATER TECHNOLOGY INC	WATER TREATMENT CONTRACT	1,082.00
		P2100501	02/25/2021	GNC CONCRETE LLC	SNOW PLOWING	319.00
18-1817-0000-63500	R&M Supplies	P2100162	02/04/2021	GRAINGER	LEVER LOCKSET	632.67
		P2100168	02/25/2021	MENARDS	100 W LEDS	87.97
ASC Building PROG TOTAL						2,140.44
18-1818-0000-62119	Other Services	P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR JAIL	656.50
		P2100240	02/25/2021	ALSCO INC	LOST CLOTHING - JAIL	184.00
		P2100268	02/18/2021	UNIFIRST CORP	UNIFORMS	267.31

ROCK COUNTY

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02/25/2021

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
18-1818-0000-62400	R & M Services	P2100198	02/25/2021	COLLINS SANITARY	PUMP GREASE TRAP	250.00
		P2100201	02/04/2021	HOH WATER TECHNOLOGY INC	WATER TREATMENT CONTRACT	6,411.00
		P2100204	02/25/2021	CONGRESS GLASS INC	REPLACEMENT GLASS	4,685.43
		P2100209	02/11/2021	JF AHERN COMPANY	SPRINKLERS FOR JAIL	278.42
		P2100501	02/25/2021	GNC CONCRETE LLC	SNOW PLOWING	2,630.00
		P2100733	02/18/2021	CAPITAL LOCK INC	LABOR AND SERVICE CALL	1,113.00
		P2100786	02/04/2021	JOHNSON TRACTOR INC	WORK PERFORMED ON TRACTOR	105.00
		18-1818-0000-62461	Elevator R&M	P2100213	02/04/2021	OTIS ELEVATOR COMPANY
18-1818-0000-63500	R&M Supplies	P2100162	02/25/2021	GRAINGER	U-BEND LIGHT BULBS	1,970.83
		P2100168	02/25/2021	MENARDS	MACANICAL ROOM LIGHTS	246.93
		P2100185	02/18/2021	JACK AND DICKS FEED AND GARDEN	SOLAR SALT	627.20
		P2100187	02/18/2021	WERNER ELECTRIC SUPPLY COMPANY	BUSHINGS AND SUPPLY MATERIAL	374.76
		P2100188	02/04/2021	JANESVILLE WINSUPPLY COMPANY	FILTERS	137.33
		P2100214	02/18/2021	US BANK	SUPPLIES FOR JAIL	324.03
		P2100234	02/25/2021	AIRGAS NORTH CENTRAL	BRAZING GAS	10.70
		P2100306	02/04/2021	BATTERIES PLUS LLC	PENTHOUSE LIGHT PROJECT	4,445.59
		Jail PROG TOTAL				
18-1819-0000-62400	R & M Services	P2100201	02/04/2021	HOH WATER TECHNOLOGY INC	WATER TREATMENT CONTRACT	3,166.00
		P2100793	02/04/2021	SIEMENS INDUSTRY INC	TROUBLESHOOT FIRE PANEL	2,165.93
		18-1819-0000-62461	Elevator R&M	P2100211	02/11/2021	STATE OF WISCONSIN
UW-Whitewater at Rock County PROG TOTAL						5,381.93
18-1820-0000-62119	Other Services	P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR BELOIT	54.30
		P2100745	02/11/2021	SAFEWAY PEST CONTROL	YEARLY ECLIPSE VETS	329.30
		18-1820-0000-63500	R&M Supplies	P2100214	02/18/2021	US BANK

ROCK COUNTY

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02/25/2021

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
Eclipse Center PRG TOTAL						558.67
18-1821-0000-62119	Other Services					
		P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR JOB CENTER	138.67
		P2100240	02/11/2021	ALSCO INC	UNIFORMS AND MATS FOR JOB CENT	72.44
		P2100268	02/25/2021	UNIFIRST CORP	UNIFORMS	61.83
		P2100872	02/18/2021	DIVERSIFIED BUILDING MAINTENAN	ELECTROSTATIC SPRAY	195.00
18-1821-0000-62400	R & M Services					
		P2100199	02/18/2021	ILLINGWORTH KILGUST MECHANICAL	BOILER ADJUSTMENT	333.50
		P2100501	02/25/2021	GNC CONCRETE LLC	SNOW PLOWING	1,355.00
18-1821-0000-63500	R&M Supplies					
		P2100162	02/04/2021	GRAINGER	SAFETY GLASSES	9.29
		P2100168	02/25/2021	MENARDS	CONF ROOM K MATERIAL	93.81
Job Center PRG TOTAL						2,259.54
18-1822-0000-62119	Other Services					
		P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR FRANKLIN ST	45.50
18-1822-0000-63500	R&M Supplies					
		P2100168	02/25/2021	MENARDS	LIGHT BULBS	13.84
		P2100214	02/18/2021	US BANK	SUPPLIES FOR FRANKLIN ST	139.86
Franklin Street PRG TOTAL						199.20
18-1823-0000-62119	Other Services					
		P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR COURT ST	45.50
Court Street PRG TOTAL						45.50
18-1824-0000-62119	Other Services					
		P2100195	02/18/2021	BADGERLAND DISPOSAL	TRASH FOR DPW	260.00
		P2100240	02/25/2021	ALSCO INC	DAMAGED SHIRT DPW	32.76
		P2100268	02/11/2021	UNIFIRST CORP	UNIFORMS FOR DPW	6.87
		P2100745	02/11/2021	SAFEWAY PEST CONTROL	YEARLY FOR DPW	75.00
18-1824-0000-62400	R & M Services					
		P2002134	02/18/2021	PROFESSIONAL SERVICE INDUSTRIE	POND SEDIMENT/SOIL SAMPLING FO	5,750.00

ROCK COUNTY

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02/25/2021

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
		P2100196	02/25/2021	JANESVILLE DOOR CO LTD	DPW OVERHEAD DOOR REPAIR	80.00
		P2100198	02/25/2021	COLLINS SANITARY	PUMP WATER PIT	1,609.50
		P2100790	02/04/2021	FOLEY ELECTRIC INC	SERVICE PROVIDED AT DPW	92.50
		P2100907	02/25/2021	QUALITY DOOR LLC	REPAIR SALT SHED DOOR	868.00
18-1824-0000-63500	R&M Supplies					
		P2100162	02/04/2021	GRAINGER	ELECTRICAL GLOVES	121.79
		P2100168	02/25/2021	MENARDS	COBRA DRAIN BLADDER	49.73
		P2100169	02/04/2021	BJ ELECTRIC SUPPLY INC	EMERGENCY LIGHTING	96.36
		P2100306	02/04/2021	BATTERIES PLUS LLC	BATTERIES	95.90
		P2100409	02/11/2021	AARONS LOCK AND SAFE INC	DPW - LATE FEES	62.70
18-1824-0000-67200	Capitla Improve					
		P2001461	02/18/2021	CORPORATE CONTRACTORS INC	CONSTRUCTION OF NEWDPW GARAGE	329,522.63
		P2100839	02/18/2021	BROTHERS MAIN APPLIANCE AND TV	LOCAL DELIVERY	1,485.00
		P2100884	02/25/2021	ALLIANT ENERGY	RE-RUN SERVICE DUE TO GRADE	4,664.00
					Hwy Buildings and Grounds PR0G TOTAL	344,872.74
18-1828-0000-62400	R & M Services					
		P2100730	02/25/2021	GFL SOLID WASTE MIDWEST LLC	TRASH SERVICE	120.87
18-1828-0000-63500	R&M Supplies					
		P2100284	02/25/2021	US BANK	FAIRGROUNDS REPAIR & MAINT	137.01
		P2100408	02/11/2021	HOME DEPOT/GEFCF	REPAIR & MAINT	21.72
					Fairgrounds PR0G TOTAL	279.60
18-1829-0000-62400	R & M Services					
		P2000690	02/25/2021	REES SCIENTIFIC CORP	RENEWAL CLOUD POINTSHARE	201.60
		P2100798	02/04/2021	TOTAL ENERGY SYSTEMS LLC	ANNUAL 4 HOUR GENERATOR LOAD B	1,862.20
					Medical Examiner Garage PR0G TOTAL	2,063.80
18-1830-0000-62400	R & M Services					
		P2100698	02/11/2021	TEUBERT ENTERPRISES LLC	PARK AND RIDE PLOW AND SALT	2,525.00
					Park N Ride PR0G TOTAL	2,525.00

ROCK COUNTY

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02/25/2021

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
		P2100772	02/25/2021	INDUSTRIAL ROOFING SERVICES IN	JAIL TUCK POINTING	2,300.00
Jail Capital Improvements PROG TOTAL						2,300.00
18-1842-0000-67200	Capital Improve	P2001115	02/11/2021	VENTURE ARCHITECTS LLC	ARCHITECTURAL AND ENGINEERING	54,354.00
18-1842-0000-67250	R&M Projects	P2100775	02/25/2021	INDUSTRIAL ROOFING SERVICES IN	TUCK POINTING AT CH	2,600.00
Courthouse Facility Cap Proj PROG TOTAL						56,954.00
18-1857-0000-67200	Capital Improve	P1901642	02/11/2021	VENTURE ARCHITECTS LLC	DESIGN SERVICES FOR RENOVATION	18,249.16
		P2100757	02/18/2021	US BANK	SHIPPING	4,545.25
		P2100773	02/04/2021	LP TREE SERVICE	REMOVE TREE AND STUMP	1,200.00
Human Services Building PROG TOTAL						23,994.41
18-1858-0000-67200	Capital Improve	P2002108	02/11/2021	VENTURE ARCHITECTS LLC	ARCHITECTURAL AND ENGINEERING	75,334.93
IT and 911 Building Project PROG TOTAL						75,334.93

ROCK COUNTY

**COMMITTEE REVIEW REPORT
WITH DESCRIPTION**
FOR THE MONTH OF FEBRUARY 2021

02/25/2021

<u>Account Number</u>	<u>Account Name</u>	<u>PO#</u>	<u>Check Date</u>	<u>Vendor Name</u>	<u>Description</u>	<u>Inv/Enc Amt</u>
-----------------------	---------------------	------------	-------------------	--------------------	--------------------	--------------------

I have reviewed the preceding payments in the total amount of **\$597,931.38**

Date:

Dept Head

Committee Chair

ROCK COUNTY

**COMMITTEE REVIEW REPORT
WITH DESCRIPTION**
FOR THE MONTH OF FEBRUARY 2021

02/25/2021

Account Number	Account Name	PO#	Check Date	Vendor Name	Description	Inv/Enc Amt
18-1828-0000-63500	R&M Supplies	P2100873	02/18/2021	FAIRWAY LIGHTING INC	CLT99-15WT8FG 40 BULBS	143.75
Fairgrounds PROG TOTAL						143.75

I have reviewed the preceding payments in the total amount of **\$143.75**

Date:

Dept Head _____

Committee Chair _____

RESOLUTION NO. _____

AGENDA NO. _____

**RESOLUTION
ROCK COUNTY BOARD OF SUPERVISORS**

The General Services Committee
INITIATED BY



Brent Sutherland- Director-
Facilities Management
DRAFTED BY

The General Services Committee
SUBMITTED BY

March 8, 2021
DATE DRAFTED

**Awarding Contract for the Curling Club and Public Restrooms
Roof Retrofit and Replacement**

- 1 **WHEREAS**, the 2021 budget included funds for the replacement of the roof on the Curling Club and
- 2 public restrooms located at the Fairgrounds, and;
- 3
- 4 **WHEREAS**, the Curling Club roof is tin and has had several temporary repairs, and;
- 5
- 6 **WHEREAS**, an insulated PTO roof will be installed which will reduce the energy costs, and;
- 7
- 8 **WHEREAS**, the public restrooms roof is a shingled roof in need of replacement, and;
- 9
- 10 **WHEREAS**, Industrial Roof Services Inc., a specialized roofing engineering firm, drafted the
- 11 specifications, and;
- 12
- 13 **WHEREAS**, bids were solicited with 8 bidders responding, and;
- 14
- 15 **WHEREAS**, one bidder withdrew their bid when they realized they left some things off their bid, and;
- 16
- 17 **WHEREAS**, the lowest, most responsive and responsible bidder is McDermaid Roofing located in
- 18 Rockford, Illinois, at the cost of \$88,248.00 and;
- 19
- 20 **NOW, THEREFORE, BE IT RESOLVED**, that the Rock County Board of Supervisors duly
- 21 assembled this ____ day of _____, 2021 does hereby approve and authorize awarding a
- 22 contract in the amount of \$88,248.00 to McDermaid Roofing of Rockford, Illinois, for the Curling Club
- 23 and public restrooms roof replacement.
- 24
- 25 **BE IT FURTHER RESOLVED**, that a \$8,000.00 contingency also be approved to cover any
- 26 unforeseen items.

Respectfully submitted,

General Services Committee:

Robert Potter, Chair

Tom Brien, Vice Chair

Dave Homan

Brent Fox

William Wilson

LEGAL NOTE:

The County Board is authorized to take this action pursuant to secs. 59.01 and 59.51, Wis. Stats. In addition, sec. 59.52(29), Wis. Stats., requires the project to be let to the lowest responsible bidder.

s/Richard Greenlee

Richard Greenlee
Corporation Counsel

FISCAL NOTE:

Sufficient funds were included in the 2021 budget for the cost of this project. This project is being funded with sales tax revenue.

/s/Sherry Oja

Sherry Oja
Finance Director

ADMINISTRATIVE NOTE:

Recommended.

/s/Josh Smith

Josh Smith
County Administrator

Rock County, Wisconsin
51 South Main Street
Janesville WI 53545

General Services
Facilities Management
(608) 757-5527

Executive Summary

Awarding a Contract for the Curling Club and Public Restrooms Roof Retrofit and Replacement

This executive summary is approving contracting with the lowest, most responsive and responsible bidder, McDermaid Roofing of Rockford IL in the amount of \$88,248 for replacement of the roof at the Curling Club and the public restrooms located at the Rock County Fairgrounds.

This also provides a contingency fund of \$8,000 for any possible unforeseen items.

Funds were budgeted in 2021 for this project. This roof is a tin roof that has had many temporary repairs. We are replacing it with an insulated PTO roof which will reduce our energy costs.

The restrooms roof is a shingled roof.

 ORIGINAL



BID SUMMARY FORM


BID NUMBER 2021-13
BID NAME CURLING CLUB & RESTROOM ROOF RETROFIT
BID DUE DATE MARCH 4, 2021 – 1:30 P.M.
DEPARTMENT FACILITIES MANAGEMENT - FAIRGROUNDS

	MCDERMAID ROOFING ROCKFORD IL	C & C SERVICES ANIWA WI	NORTHERN METAL ROOFING WEST BEND WI	NEWCORP CONSTRUCTION LODI WI	NATIONS ROOF NORTH WAUKESHA WI	STERLING ROOFING STERLING IL	KASCHAK ROOFING MILWAUKEE WI
BASE BID	\$ 88,248.00	\$ 95,000.00	\$ 104,850.00	\$ 107,400.00	\$ 108,192.00	\$ 109,270.00	\$ 109,550.00
START DATE	4/15/21	4/5/21	4/5/21	4/1/21	6/1/21	5/1/21	5/1/21
COMPLETION	5/1/21	4/19/21	4/23/21	5/1/21	8/5/21	6/30/21	5/25/21

Invitation to Bid was advertised in the Beloit Daily News and on the Internet. Thirteen additional vendors were solicited that did not respond. One bidder withdrew their bid after the bid opening.

PREPARED BY: JODI MILLIS, PURCHASING MANAGER

DEPARTMENT HEAD RECOMMENDATION: Mc Dermaid Roofing

 3-8-2021
SIGNATURE DATE

GOVERNING COMMITTEE APPROVAL: _____
CHAIR VOTE DATE

Approval to purchase:

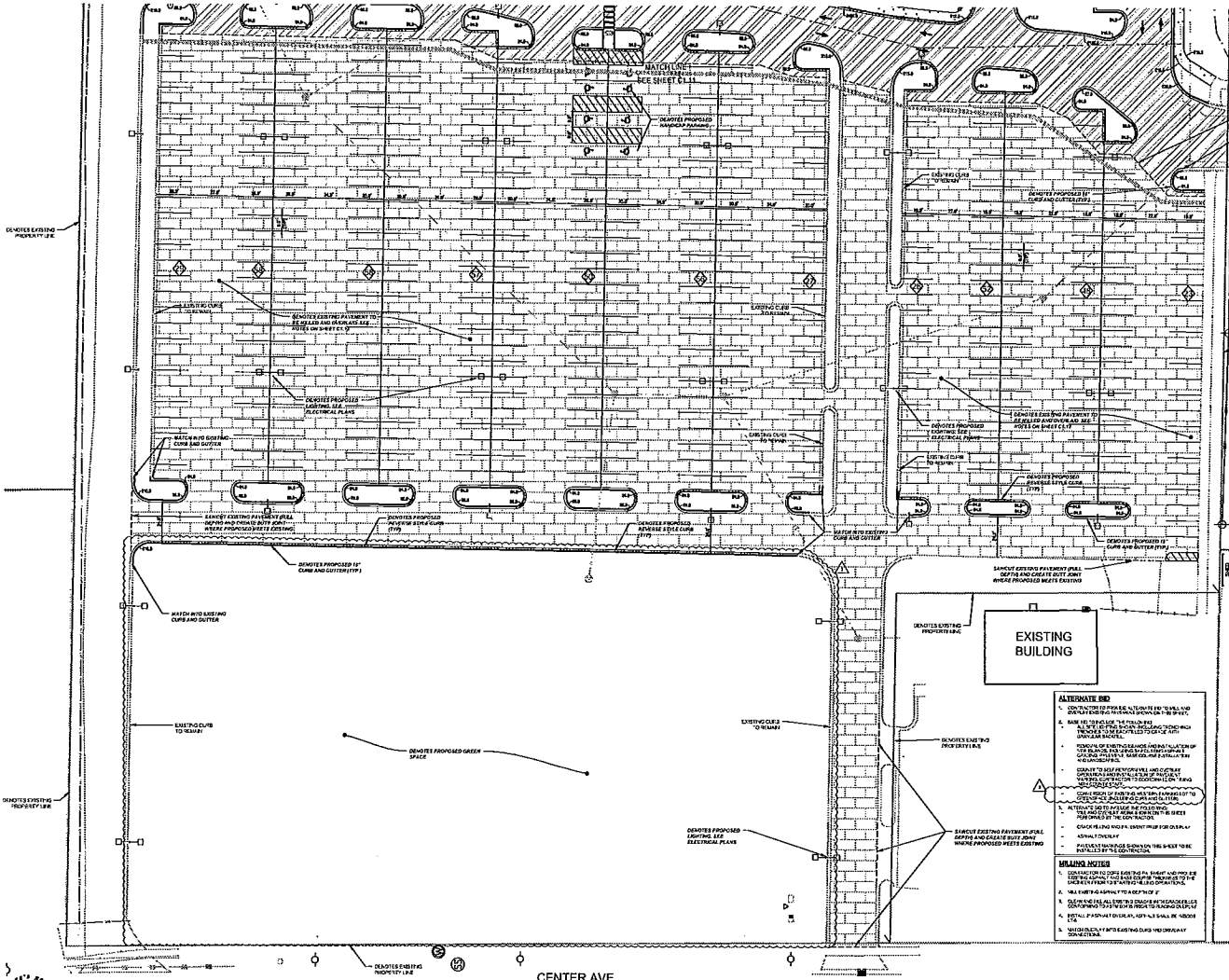
Open work stations from our contracted furniture supplier

This is the approval to purchase open work station desks and furniture from our contracted furniture supplier Hendricksen out of Brookfield WI in the amount of \$21,305. We are replacing the built in millwork with free standing work stations as part of the improvements to the serving windows. These changes will improve ADA accessibility and staff ergonomics.



COUNTY OF ROCK, WISCONSIN CHANGE ORDER FORM

CHANGE ORDER NUMBER	#6
PROJECT NUMBER	JPC- 5889
PROJECT NAME	Rock County Human Services Building
PURCHASE ORDER NUMBER	
ARCHITECT FIRM & CONTACT	Venture Architect Jack Blume
A/E JOB NUMBER	
DISTRIBUTION	OWNER _____ CONTRACTOR _____ FILE _____ OTHER _____
<p><i>We propose to provide the following change (s) to our contract for the above reference Project, with the contract amount being adjusted by Contract Change Order amount (s) stated below.</i></p>	
<p>DESCRIPTION:</p> <ul style="list-style-type: none"> - Replacement of ~140,000sqft okay 	
ORIGINAL CONTRACT SUM	\$21,531,921
PREVIOUS CHANGE ORDERS AMOUNT	credit of (\$263616)
CURRENT CHANGE ORDER AMOUNT	\$493,741
NEW CONTRACT SUM	\$21,762,046
CONTRACTOR SIGNATURE	
OWNER SIGNATURE	
ARCHITECT/ENGINEER SIGNATURE	



VENTURE ARCHITECTS
 212 North 25th Street
 Phoenix, AZ 85016
 Phone: (602) 271-2339

CLIENT
 Harwood
 Engineering
 Consultants
 1717 Center Avenue
 Phoenix, AZ 85006

PROJECT
 Rock County HHS

BID SET

EXISTING
 1717 Center Avenue
 Phoenix, AZ 85006

Venture Architects

Harwood Engineering Consultants

Rock County HHS

Bid Set

1717 Center Avenue
 Phoenix, AZ 85006

EXISTING BUILDING

- ALTERNATE BID**
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PHOENIX SPECIFICATIONS AND THE CITY OF PHOENIX STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 2. BIDDING SHALL BE FOR THE COMPLETE CONSTRUCTION OF THE PROJECT AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHOENIX AND THE ARIZONA DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
 4. ALL UTILITIES SHALL BE LOCATED AND DEEPLY MARKED PRIOR TO CONSTRUCTION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING TREES AND LANDSCAPE.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING CURBS AND SIDEWALKS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING DRIVEWAYS AND PATHWAYS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES.
- NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHOENIX AND THE ARIZONA DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
 2. ALL UTILITIES SHALL BE LOCATED AND DEEPLY MARKED PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING TREES AND LANDSCAPE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING CURBS AND SIDEWALKS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING DRIVEWAYS AND PATHWAYS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES.

APPROVED BY PROJECT MANAGER: [Signature]

DATE: 10/15/2010

PROJECT NO: 10000000

SCALE: AS SHOWN

HATCH LEGEND

[Hatch Pattern]	EXISTING
[Hatch Pattern]	PROPOSED

SITE PLAN - DETAILED WEST

Scale: 1" = 20'

DATE: 10/15/2010

PROJECT NO: 10000000

SCALE: AS SHOWN

Sheet: C1.12



**COLDWELL
BANKER
COMMERCIAL**

**MCGUIRE MEARS &
ASSOCIATES**

FOR SALE

ROCK COUNTY JOB CENTER

Subject To Offer

1900 Center Ave
Janesville, WI 53546

AVAILABLE SPACE
64,107 SF

AREA
Located on the Southside of Janesville



MCGUIREMEARS.COM

OFFICE

Bill Mears
608 314 8251
bill@mcguiremeares.com

Adam Shultz
608 314 8257
adam@mcguiremeares.com

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**COLDWELL BANKER COMMERCIAL
MCGUIRE MEARS & ASSOCIATES**
400 Midland Court, Suite 101, Janesville, WI 53546
608.752.6325



**COLDWELL
BANKER
COMMERCIAL**

**MCGUIRE MEARS &
ASSOCIATES**

PROPERTY INFORMATION

SECTION 1

FOR SALE

MCGUIREMEARS.COM

OFFICE

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bill@mcguiremeares.com

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MCGUIRE MEARS & ASSOCIATES
400 Midland Court, Suite 101, Janesville, WI 53546
608.752.6325



ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546

SALE



OFFERING SUMMARY

Sale Price: Subject To Offer

Lot Size: 4.26 Acres

Building Size: 64,107 SF

Zoning: B-2

PROPERTY OVERVIEW

Large commercial building renovated in 2002 as office space for Rock County. The 60,500 SF building is being used as its Job Center. The property is zoned B2, Community Shopping District, which allows for most retail uses. The highest and best use for the building in 2021 and beyond is multi-purpose which will be limited by the current zoning. With the new county complex located across the street in the former Pic n Save the job center building will be ideal for other agencies and non-profits making it attractive to a developer.

DEMOGRAPHICS

	1 MILE	3 MILES	5 MILES
Total Households	1,895	12,794	25,218
Total Population	4,806	31,892	62,019
Average HH Income	\$51,597	\$46,655	\$54,045

MCGUIREMEARS.COM

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bill@mcguiremears.com

Adam Shultz
608 314 8257
adam@mcguiremears.com

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MCGUIRE MEARS &
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LOCATION INFORMATION

SECTION 2

FOR SALE

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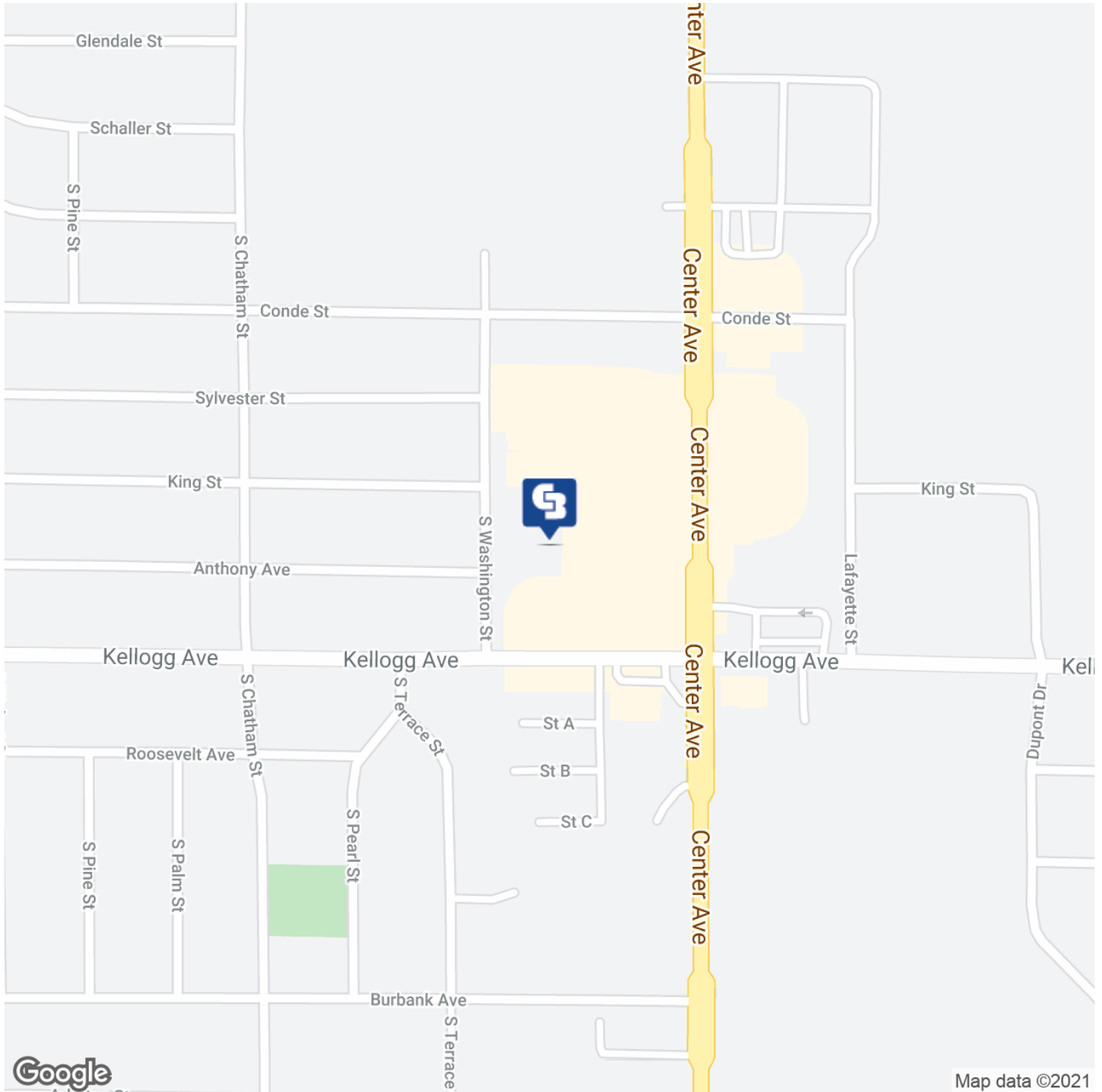
COLDWELL BANKER COMMERCIAL
MCGUIRE MEARS & ASSOCIATES
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608.752.6325



ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546

SALE



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608 314 8251
bill@mcguiremears.com

Adam Shultz
608 314 8257
adam@mcguiremears.com



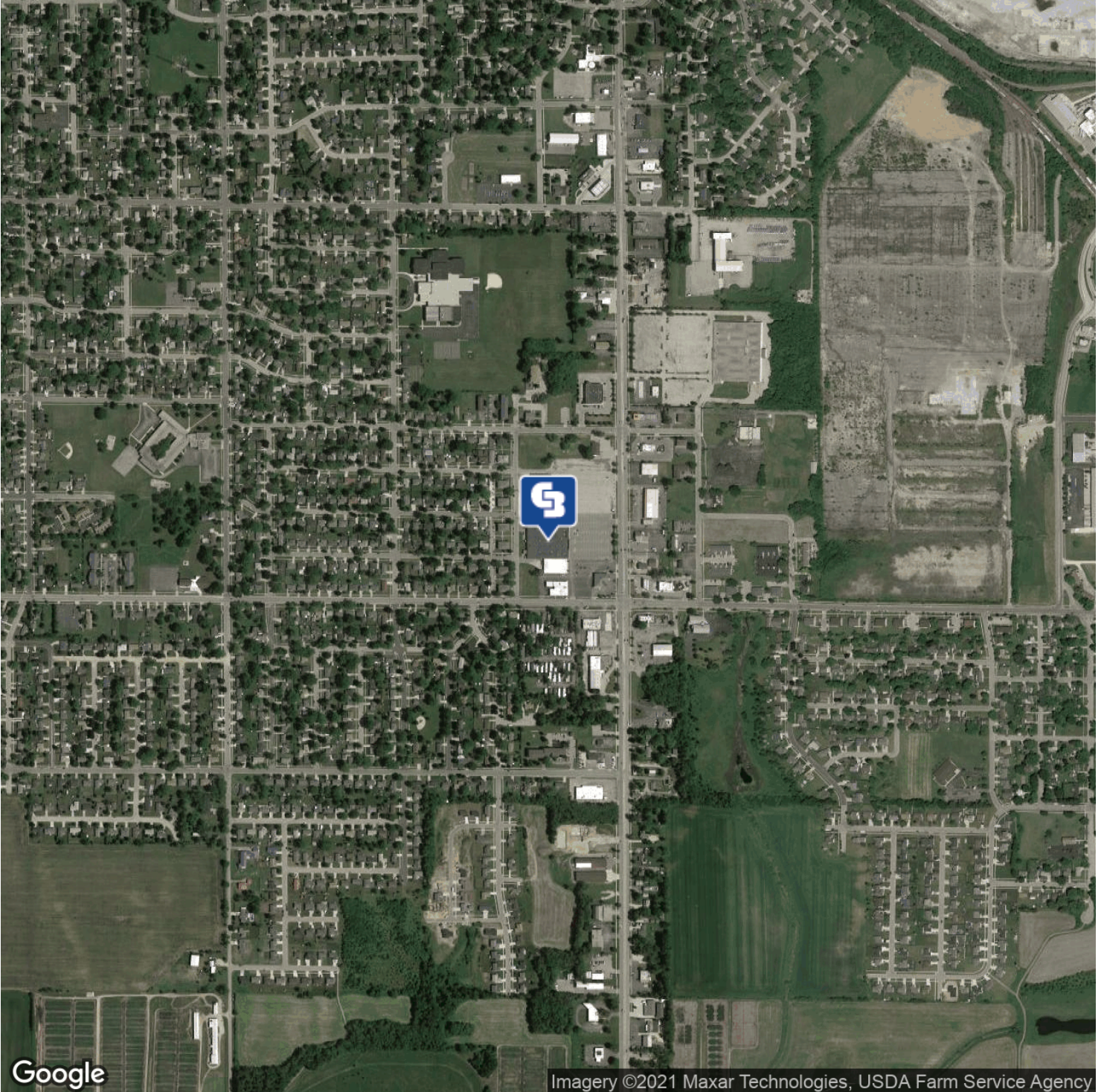
**MCGUIRE MEARS &
ASSOCIATES**



ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546

SALE



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Adam Shultz
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adam@mcguiremears.com



MCGUIRE MEARS &
ASSOCIATES



**COLDWELL
BANKER
COMMERCIAL**

**MCGUIRE MEARS &
ASSOCIATES**

SAMPLE MARKETING
SECTION 3

FOR SALE

MCGUIREMEARS.COM

OFFICE

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Adam Shultz
608.314.8257
adam@mcguiremeares.com

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ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546

SALE

COLDWELL BANKER COMMERCIAL

Rock County Job Center
1900 Center Ave | Janesville, WI 53546

Subject To Offer

Overview Photos Map

Brokers

- Bill Mears**
Managing Broker
McGuire Mears & Associates
IL #4271-077581
WI #48262-90
C: 608.314.8251
C: 608.359.3031
E: bill@mcguiremears.com
- Adam Shultz**
Sales Associate
McGuire Mears & Associates
IL #475.186989
WI #299356-94
C: 608.314.8257
E: adam@mcguiremears.com

Request More Info

NAME:

EMAIL ADDRESS:

PHONE:

MESSAGE (OPTIONAL):

I'm not a robot

Powered By **buildout.**

Property Details

Price	Subject To Offer	Building Size	64,107 SF	Property Type	Office
-------	------------------	---------------	-----------	---------------	--------

Description

Large commercial building renovated in 2002 as office space for Rock County. The 60,500 SF building is being used as its Job Center. The property is zoned B2, Community Shopping District, which allows for most retail uses. The highest and best use for the building in 2021 and beyond is multi-purpose which will be limited by the current zoning. With the new county complex located across the street in the former Pic n Save the job center building will be ideal for other agencies and non-profits making it attractive to a developer.

Map

Property Website

We create an individual webpage for each institutional listing accessible from McGuire Mears & Associates. The website includes extensive property information including the offering summary, a high-resolution photo gallery, property attributes, interactive maps, area information, demographic information, a digital offering memorandum and brochure, and a downloadable confidentiality agreement.

MCGUIREMEARS.COM

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Adam Shultz
608 314 8257
adam@mcguiremears.com




ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546

SALE

Email Campaign

Our email campaign is designed to generate interest at a large scale. Our extensive list of investors receive the email with high-resolution photos of your property, a map, listing information, a link to the property website and broker contact information. This is one of our best lead generation tools.



ROCK COUNTY JOB CENTER


PROPERTY WEBSITE

1900 CENTER AVE
JANESVILLE, WI 53546

Large commercial building renovated in 2002 as office space for Rock County. The 60,500 SF building is being used as its Job Center. The property is zoned B2, Community Shipping District, which allows for most retail uses. The highest and best use for the building is 2021 and beyond is multi-purpose which will be limited by the current zoning. With the new county complex located across the street in the former PIC's Save the job center building will be ideal for other agencies and nonprofits making it attractive to a developer.

SUMMARY	HIGHLIGHTS
SALE PRICE	Subject To Offer
BUILDING SIZE	64,107 SF
LOT SIZE	4.26 Acres
ZONING	B-2

ADDITIONAL PHOTOS



1900 CENTER AVE
JANESVILLE, WI 53546
[VIEW ON MAP](#)

FOR MORE INFORMATION

BILL MEARS
REALTOR/CMR, BROKER
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bill@mcmguiremears.com
WI 53546-90-90

ADAM SHULTZ
SALES ASSOCIATE
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ashan@mcmguiremears.com
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 **COLDWELL
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MCGUIRE MEARS &
ASSOCIATES



ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546

SALE



WILLIAM MEARS, CCIM. SIOR
(608) 314-8251 | bill@mcguiremears.com



ADAM SHULTZ
(608) 314-8257 | adam@mcguiremears.com

FOR SALE



ROCK COUNTY JOB CENTER
1900 Center Ave St, Janesville, WI 53546
\$ XXXXXXXXX



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ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546

SALE



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MCGUIRE MEARS & ASSOC.

FOR SALE

**BILL MEARS
ADAM SHULTZ**

608.314.8251

MCGUIREMEARS.COM

EACH OFFICE IS INDEPENDENTLY OWNED AND OPERATED.

MCGUIREMEARS.COM

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Adam Shultz
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**MCGUIRE MEARS &
ASSOCIATES**



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ADVISOR BIOS
SECTION 4

FOR SALE

MCGUIREMEARS.COM

OFFICE

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608.752.6325



ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546



BILL MEARS

Managing Broker

bill@mcguiremears.com

Direct: 608.314.8251 | Cell: 608.359.3031

WI #48260-90 // IL #471.017381

PROFESSIONAL BACKGROUND

Bill is a Principal at Coldwell Banker Commercial McGuire Mears & Associates and serves as Managing Broker. Before entering the real estate industry in 1996, he spent 20+ years managing and directing county-wide economic development in southeast Michigan. While there, he provided consulting services to both the private and public sectors regarding land acquisition for commercial and industrial park development, site acquisition for private and publicly held companies, and implemented marketing strategies for communities and municipalities. Bill is a well-respected commercial real estate industry veteran and has earned numerous distinctions throughout his 24 years in real estate. He has been recognized by Coldwell Banker Commercial as a top-producing agent in the state and continues to be recognized by the CoStar Group as a Power Broker in the Milwaukee and Madison markets.

EDUCATION

BA in Education from Western Michigan University
MA in Media Education from Western Michigan University

MEMBERSHIPS

Certified Commercial Investment Member (CCIM)
Society of Industrial and Office REALTORS (SIOR)
National Association of REALTORS (NAR)
Commercial Real Estate Development Association (NAIOP)
Commercial Association of REALTORS Wisconsin (CARW)

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Adam Shultz
608 314 8257
adam@mcguiremears.com



ROCK COUNTY JOB CENTER

1900 Center Ave , Janesville, WI 53546

SALE



ADAM SHULTZ

Sales Associate

adam@mcguiremears.com

Direct: 608.314.8257

WI #89836-94 // IL #475.186989

PROFESSIONAL BACKGROUND

Adam Shultz is a Sales Associate at Coldwell Banker Commercial McGuire Mears & Associates in Janesville, Wisconsin, teamed up directly with managing broker Bill Mears. Specializing in industrial and office sales and leasing, as well as investment sales, Shultz brings seven years of previous finance and sales experience to the team. Shultz received a B.A. from UW-Madison in both Spanish and Economics. Coming from a background in commercial lending, Shultz possesses the knowledge and creativity to structure debt and financing in order to help execute commercial real estate deals. Adam is also an involved Goodwill Ambassador for Forward Janesville Inc and enjoys spending time with his son and golfing.

EDUCATION

BA in Economics from the University of Wisconsin-Madison

BA in Spanish from the University of Wisconsin-Madison

MEMBERSHIPS

Forward Janesville Inc.

Join Janesville Young Professionals

McGuire Mears & Associates

400 Midland Court Suite 101

Janesville, WI 53546

608.752.6325

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Adam Shultz
608 314 8257
adam@mcguiremears.com



MCGUIRE MEARS &
ASSOCIATES

FROM NASHVILLE TO JANESVILLE

Local Entrepreneur Discovers Solution Across the Street

CHALLENGE

Rock Energy Systems, LLC a manufacturer of waste oil heaters founded and headquartered in Janesville, Wisconsin, purchased a competitor located in Nashville. With that acquisition came a new challenge—should they manage the new company as a satellite operation or should they consolidate both companies inside their current manufacturing and warehouse facility in Janesville? After an evaluation of existing floor space, Rock Energy opted for consolidation but realized that they would need more square footage and engaged Coldwell Banker Commercial McGuire Mears & Associates for assistance.

ACTION

The team of Bill Mears and Adam Shultz pitched two scenarios: Rock Energy might be able to find available space in the market, or there always was the possibility of build-to-suit. However, Mears, with his market knowledge, reached out to the owner of the property directly across the street from Rock Energy. There sat a 52,000 SF building that housed the property owner's powder coating business, and Mears had a feeling that the property owner was ready to sell both the business's assets and the real estate.

RESULTS

- Rock Energy purchased the 52,000 SF building to accommodate additional manufacturing and warehousing
- Rock Energy also purchased the powder coating assets and now paints its own parts
- Real estate sale price was \$2.0M / \$38.46 PSF
- The Nashville operation is now housed within the Janesville facilities

"Bill read about our acquisition and called me the same day. He let me know that space was tight but suggested that he might have a solution to our consolidation problem. Several months and a lot of hard work later, the trailers were packed and we were moving north!"

- Barry Brandt, CEO of Rock Energy Systems, LLC



From the left, Adam Shultz, Barry Brandt, & Bill Mears

INDUSTRIAL

William E Mears, CCIM, SIOR
608-314-8251
bill@mcguiremears.com

Adam Shultz, Sales Associate
608-314-8257
adam@mcguiremears.com

GATES AUTO DELIVERS A UNIQUE CAR BUYING EXPERIENCE

Auto Sales Company Absorbs and Repositions Obsolete Retail Big-Box Property

CHALLENGE

Gates Auto needed to find a new facility where they could open one of the largest indoor car showrooms in the Midwest. Given that Wisconsin is a cold weather state for roughly half the year, the ability to bring the car buying process almost completely indoors is a game-changer, both protecting the vehicles and shielding the customers from frigid Wisconsin winters.

ACTION

Gates Auto leadership approached Bill Mears and Adam Shultz of Coldwell Banker Commercial McGuire Mears & Associates in early 2020 to assist in scouring the Janesville and Beloit markets for potential sites. After months of negotiating purchases on multiple properties to no avail, Mears and Shultz expanded their search north toward the outlying Madison areas. They identified a former Shopko and neighboring strip center in Columbus next to an intersection with the heavily traveled US Hwy 151, which would be a premier location that fell well within budget.

RESULTS

- Gates Auto acquired both the 35,000 square foot former Shopko and neighboring 10,000 square foot strip center.
- The vacant, incomplete strip center was finished off as a smaller indoor showroom and sales office.
- The former Shopko will be renovated into one of the largest indoor car showrooms in the Midwest.

"Adam searched relentlessly until we found the correct location to deliver our unique concept to the surrounding Madison market. The entire sales process was handled efficiently and professionally from start to finish and we could not be any happier to join and be part of the Columbus retail community."

- Troy Gates, Owner, Gates Auto



RETAIL

William E Mears, CCIM, SIOR
608-314-8251
bill@mcguiremears.com

Adam Shultz, Sales Associate
608-314-8257
adam@mcguiremears.com

OFFICE USER CHECKS OFF MULTIPLE WANTS IN BUILDING PURCHASE

CBC Team Helps Computers Nationwide Become Occupant and Landlord

CHALLENGE

Computers Nationwide approached Coldwell Banker Commercial McGuire Mears & Associates in late 2019 to help with their search for a new office space. Specifically, they were looking for a more central location for their employees; their labor force hails from southeastern Wisconsin down into northern Illinois. Moreover, the owner requested that the acquisition costs remain under one million dollars and for a prospective building to provide rental income that would help offset their debt service.

ACTION

CBC agent Adam Shultz set to work identifying possible properties that had sufficient square footage to accommodate Computers Nationwide's twenty-five employees and were also within the desired geographic area. After uncertainty from the Covid-19 pandemic halted the search twice, Shultz identified an office investment property at 340 Midland Rd in Janesville, Wisconsin, as an ideal location. The multi-tenant office building had enough vacant space and a long-time owner looking to sell the property and move on to other opportunities.

RESULTS

- Successfully negotiated a building purchase price of \$900,000 (\$67.38 PSF)
- Relocated an existing tenant within the building to consolidate the remaining vacant square footage into a 4,500 SF suite that Computers Nationwide could occupy
- Helped the seller realize the property's full potential value by identifying Computers Nationwide as an owner-occupier instead of strictly trying to sell it as a 60% leased investment property

"Adam showed us multiple buildings and spent many hours searching until we uncovered the right building for everything we are looking to do both now and in the future. We are happy that this building is multi-tenant, which allows us the possibility to grow into those spaces in the future or continue to rent them and earn the residual rental income."

- Mike Gilbert, Owner



OFFICE

William E Mears, CCIM, SIOR
608-314-8251
bill@mcguiremears.com

Adam Shultz, Sales Associate
608-314-8257
adam@mcguiremears.com

WB-5 COMMERCIAL LISTING CONTRACT - EXCLUSIVE RIGHT TO SELL

1 **SELLER GIVES THE FIRM THE EXCLUSIVE RIGHT TO SELL THE PROPERTY ON THE FOLLOWING TERMS:**

2 ■ **PROPERTY DESCRIPTION:** Street address is: 1900 Center Ave
 3 _____ in the _____ City _____ of _____ Janesville _____, County of _____ Rock _____,
 4 Wisconsin. Insert additional description, if any, at lines 320-331 or attach as an addendum per lines 332-337.

5 ■ **INCLUDED IN LIST PRICE:** Seller is including in the list price the Property, Fixtures not excluded on lines 9-12, and
 6 the following items: _____
 7 _____
 8 _____

9 ■ **NOT INCLUDED IN LIST PRICE:** Seller's personal property
 10 _____
 11 _____
 12 _____

13 **CAUTION: Identify Fixtures to be excluded by Seller or which are rented and will continue to be owned by the**
 14 **lessor. (See lines 182-193).**

15 ■ Seller shall convey the personal property by Bill of Sale, free and clear of all liens and encumbrances except: _____
 16 _____
 17 _____

18 ■ **LIST PRICE:** _____ One Million, Three Hundred Thousand _____ Dollars (\$ 1,300,000.00).

19 ■ **SELLER AUTHORITY:** Seller represents that Seller has authority to sign this Listing and negotiate the sale of the
 20 Property. If Seller is an entity, Seller agrees, within 15 days of the execution of this Listing, to provide the Firm with a
 21 copy of document(s) confirming the authority to negotiate the sale of the Property.

22 ■ **ZONING:** Seller represents that the Property is zoned: B-2

23 ■ **ZONING VARIANCES, NONCONFORMING USE OR DEVELOPMENT RESTRICTIONS:** Seller represents that the
 24 Property is subject to the following special zoning, land use, development restrictions, zoning variances, nonconforming
 25 uses or other conditions affecting the Property: _____
 26 _____

27 **MARKETING** Seller authorizes and the Firm and its agents agree to use reasonable efforts to market the Property.
 28 Seller agrees that the Firm and its agents may market Seller's personal property identified on lines 5-8 during the term
 29 of this Listing. The marketing may include: Signage, Cold Calling, Internet website postings, email
 30 blasts

31 The Firm and its agents may advertise the following special financing and incentives offered by Seller: _____
 32 _____ . Seller
 33 has a duty to cooperate with the marketing efforts of the Firm and its agents. See lines 231-237 regarding the Firm's
 34 role as marketing agent and Seller's duty to notify the Firm of any potential buyer known to Seller. Seller agrees that the
 35 Firm and its agents may market other properties during the term of this Listing.

36 **CAUTION: Limiting the Firm's cooperation with other firms may reduce the marketability of the Property.**

37 **COMPENSATION TO OTHERS** The Firm offers the following commission to cooperating firms: 50% of the total
 38 commission earned . (Exceptions if any): _____
 39 _____

40 **COMMISSION** The Firm's commission shall be 6% of the sale price
 41 _____
 42 _____

43 ■ **EARNED:** Seller shall pay the Firm's commission, which shall be earned, if, during the term of this Listing:
 44 1) Seller sells or accepts an offer which creates an enforceable contract for the sale of all or any part of the Property;
 45 2) Seller grants an option to purchase all or any part of the Property which is subsequently exercised;
 46 3) Seller exchanges or enters into a binding exchange agreement on all or any part of the Property;
 47 4) A transaction occurs which causes an effective change in ownership or control of all or any part of the Property; or
 48 5) A ready, willing and able buyer submits a bona fide written offer to Seller or the Firm for the Property at, or above,
 49 the list price and on substantially the same terms set forth in this Listing and the current WB-15 Commercial Offer to
 50 Purchase, even if Seller does not accept this buyer's offer. A buyer is ready, willing and able when the buyer
 51 submitting the written offer has the ability to complete the buyer's obligations under the written offer.
 52 The Firm's commission shall be earned if, during the term of the Listing, one owner of the Property sells, conveys,
 53 exchanges or options, as described above, an interest in all or any part of the Property to another owner, except by divorce
 54 judgment.

- 55 ■ **DUE AND PAYABLE:** Once earned, the Firm's commission is due and payable in full at the earlier of closing or the date
 56 set for closing, even if the transaction does not close, unless otherwise agreed in writing.
- 57 ■ **CALCULATION:** A percentage commission shall be calculated based on the following, if earned above:
- 58 • Under 1) or 2) the total consideration between the parties in the transaction.
- 59 • Under 3) or 4) the list price if the entire Property is involved.
- 60 • Under 3) if the exchange involves less than the entire Property or under 4) if the effective change in ownership or
 61 control involves less than the entire Property, the fair market value of the portion of the Property exchanged or for
 62 which there was an effective change in ownership or control.
- 63 • Under 5) the total offered purchase price.

64 **NOTE: If a commission is earned for a portion of the Property it does not terminate the Listing as to any remaining**
 65 **Property.**

66 **BUYER FINANCIAL CAPABILITY** The Firm and its agents are not responsible under Wisconsin statutes or regulations to
 67 qualify a buyer's financial capability. If Seller wishes to confirm a buyer's financial capability, Seller may negotiate inclusion of
 68 a contingency for financing, proof of funds, qualification from a lender, sale of buyer's property, or other confirmation in any
 69 offer to purchase or contract.

70 **LIEN NOTICE** The Firm has the authority under section 779.32 of the Wisconsin Statutes to file a lien for commissions
 71 or compensation earned but not paid when due against the commercial real estate, or the interest in the commercial
 72 real estate, if any, that is the subject of this Listing. "Commercial real estate" includes all real estate except (a) real
 73 property containing 8 or fewer dwelling units, (b) real property that is zoned for residential purposes and that does not
 74 contain any buildings or structures, and (c) real property that is zoned for agricultural purposes.

75 **DISCLOSURE TO CLIENTS**

76 Under Wisconsin law, a brokerage firm (hereinafter firm) and its brokers and salespersons (hereinafter agents) owe
 77 certain duties to all parties to a transaction:

- 78 (a) The duty to provide brokerage services to you fairly and honestly.
- 79 (b) The duty to exercise reasonable skill and care in providing brokerage services to you.
- 80 (c) The duty to provide you with accurate information about market conditions within a reasonable time if you request it,
 81 unless disclosure of the information is prohibited by law.
- 82 (d) The duty to disclose to you in writing certain Material Adverse Facts about a property, unless disclosure of the
 83 information is prohibited by law. (See lines 194-197.)
- 84 (e) The duty to protect your confidentiality. Unless the law requires it, the firm and its agents will not disclose your
 85 confidential information or the confidential information of other parties. (See lines 142-159.)
- 86 (f) The duty to safeguard trust funds and other property the firm or its agents holds.
- 87 (g) The duty, when negotiating, to present contract proposals in an objective and unbiased manner and disclose the
 88 advantages and disadvantages of the proposals.

89 **BECAUSE YOU HAVE ENTERED INTO AN AGENCY AGREEMENT WITH A FIRM, YOU ARE THE FIRM'S CLIENT.**
 90 **A FIRM OWES ADDITIONAL DUTIES TO YOU AS A CLIENT OF THE FIRM:**

- 91 (a) The firm or one of its agents will provide, at your request, information and advice on real estate matters that affect
 92 your transaction, unless you release the firm from this duty.
- 93 (b) The firm or one of its agents must provide you with all material facts affecting the transaction, not just Adverse Facts.
- 94 (c) The firm and its agents will fulfill the firm's obligations under the agency agreement and fulfill your lawful requests that
 95 are within the scope of the agency agreement.
- 96 (d) The firm and its agents will negotiate for you, unless you release them from this duty.
- 97 (e) The firm and its agents will not place their interests ahead of your interests. The firm and its agents will not, unless
 98 required by law, give information or advice to other parties who are not the firm's clients, if giving the information or advice is
 99 contrary to your interests.
- 100 If you become involved in a transaction in which another party is also the firm's client (a "multiple representation
 101 relationship"), different duties may apply.

102 **MULTIPLE REPRESENTATION RELATIONSHIPS AND DESIGNATED AGENCY**

- 103 ■ A multiple representation relationship exists if a firm has an agency agreement with more than one client who is a
 104 party in the same transaction. If you and the firm's other clients in the transaction consent, the firm may provide services
 105 through designated agency, which is one type of multiple representation relationship.
- 106 ■ Designated agency means that different agents with the firm will negotiate on behalf of you and the other client or
 107 clients in the transaction, and the firm's duties to you as a client will remain the same. Each agent will provide
 108 information, opinions, and advice to the client for whom the agent is negotiating, to assist the client in the negotiations.
 109 Each client will be able to receive information, opinions, and advice that will assist the client, even if the information,
 110 opinions, or advice gives the client advantages in the negotiations over the firm's other clients. An agent will not reveal
 111 any of your confidential information to another party unless required to do so by law.
- 112 ■ If a designated agency relationship is not authorized by you or other clients in the transaction, you may still authorize

113 or reject a different type of multiple representation relationship in which the firm may provide brokerage services to more
114 than one client in a transaction but neither the firm nor any of its agents may assist any client with information, opinions,
115 and advice which may favor the interests of one client over any other client. Under this neutral approach, the same
116 agent may represent more than one client in a transaction.
117 ■ If you do not consent to a multiple representation relationship the firm will not be allowed to provide brokerage
118 services to more than one client in the transaction.

119 **CHECK ONLY ONE OF THE THREE BELOW:**

120 The same firm may represent me and the other party as long as the same agent is not
121 representing us both. (multiple representation relationship with designated agency)

122 The same firm may represent me and the other party, but the firm must remain neutral
123 regardless if one or more different agents are involved. (multiple representation relationship
124 without designated agency)

125 The same firm cannot represent both me and the other party in the same transaction. (I reject
126 multiple representation relationships)

127 **NOTE: All clients who are parties to this agency agreement consent to the selection checked above. You may**
128 **modify this selection by written notice to the firm at any time. Your firm is required to disclose to you in your**
129 **agency agreement the commission or fees that you may owe to your firm. If you have any questions about the**
130 **commission or fees that you may owe based upon the type of agency relationship you select with your firm,**
131 **you should ask your firm before signing the agency agreement.**

132 **SUBAGENCY**

133 Your firm may, with your authorization in the agency agreement, engage other firms (subagent firms) to assist your firm by
134 providing brokerage services for your benefit. A subagent firm and the agents with the subagent firm will not put their own
135 interests ahead of your interests. A subagent firm will not, unless required by law, provide advice or opinions to other parties
136 if doing so is contrary to your interests.

137 **PLEASE REVIEW THIS INFORMATION CAREFULLY. An agent can answer your questions about brokerage**
138 **services, but if you need legal advice, tax advice, or a professional home inspection, contact an attorney, tax**
139 **advisor, or home inspector.**

140 This disclosure is required by section 452.135 of the Wisconsin statutes and is for information only. It is a plain language
141 summary of the duties owed to you under section 452.133 (2) of the Wisconsin statutes.

142 ■ **CONFIDENTIALITY NOTICE TO CLIENTS:** The Firm and its agents will keep confidential any information given to
143 the Firm or its agents in confidence, or any information obtained by the Firm and its agents that a reasonable person
144 would want to be kept confidential, unless the information must be disclosed by law or you authorize the Firm to
145 disclose particular information. The Firm and its agents shall continue to keep the information confidential after the Firm
146 is no longer providing brokerage services to you.

147 The following information is required to be disclosed by law:

- 148 1) Material Adverse Facts, as defined in section 452.01 (5g) of the Wisconsin statutes (see lines 194-197).
- 149 2) Any facts known by the Firm and its agents that contradict any information included in a written inspection report on
150 the property or real estate that is the subject of the transaction.

151 To ensure that the Firm and its agents are aware of what specific information you consider confidential, you may list that
152 information below (see lines 154-156). At a later time, you may also provide the Firm with other information you
153 consider to be confidential.

154 **CONFIDENTIAL INFORMATION:** _____
155 _____
156 _____

157 **NON-CONFIDENTIAL INFORMATION** (The following may be disclosed by the Firm and its agents): _____
158 _____
159 _____

160 **OCCUPANCY** Unless otherwise provided, Seller agrees to give buyer occupancy of the Property at time of closing
161 and to have the Property in broom swept condition and free of all debris and personal property except for personal
162 property belonging to current tenants, sold to buyer or left with buyer's consent.

163 **LEASED PROPERTY:** If Property is currently leased and lease(s) will extend beyond closing, Seller shall assign Seller's
 164 rights under the lease(s) and transfer all security deposits and prepaid rents (subject to agreed upon prorations) thereunder
 165 to buyer at closing. Seller acknowledges that Seller remains liable under the lease(s) unless released by tenant(s).
 166 **CAUTION: Seller should consider obtaining an indemnification agreement from buyer for liabilities under the**
 167 **lease(s) unless released by tenants.**

168 **DEFINITIONS**

169 ■ **ADVERSE FACT:** An "Adverse Fact" means any of the following:

170 (a) A condition or occurrence that is generally recognized by a competent licensee as doing any of the following:

- 171 1) Significantly and adversely affecting the value of the Property;
- 172 2) Significantly reducing the structural integrity of improvements to real estate; or
- 173 3) Presenting a significant health risk to occupants of the Property.

174 (b) Information that indicates that a party to a transaction is not able to or does not intend to meet his or her obligations
 175 under a contract or agreement made concerning the transaction.

176 ■ **DEADLINES - DAYS:** Deadlines expressed as a number of "days" from an event are calculated by excluding the day the
 177 event occurred and by counting subsequent calendar days.

178 ■ **DEFECT:** "Defect" means a condition that would have a significant adverse effect on the value of the Property; that
 179 would significantly impair the health or safety of future occupants of the Property; or that if not repaired, removed or
 180 replaced would significantly shorten or adversely affect the expected normal life of the premises.

181 ■ **FIRM:** "Firm" means a licensed sole proprietor broker or a licensed broker business entity.

182 ■ **FIXTURES:** A "Fixture" is an item of property which is physically attached to or so closely associated with land or
 183 buildings so as to be treated as part of the real estate, including, without limitation, physically attached items not easily
 184 removable without damage to the premises, items specifically adapted to the premises, and items customarily treated
 185 as fixtures, including, but not limited to, all: garden bulbs; plants; shrubs and trees; screen and storm doors and
 186 windows; electric lighting fixtures; window shades; curtain and traverse rods; blinds and shutters; central heating and
 187 cooling units and attached equipment; water heaters, water softeners and treatment systems; sump pumps; attached or
 188 fitted floor coverings; awnings; attached antennas and satellite dishes, audio/visual wall mounting brackets (but not the
 189 audio/visual equipment); garage door openers and remote controls; installed security systems; central vacuum systems
 190 and accessories; in-ground sprinkler systems and component parts; built-in appliances; ceiling fans; fences; in-ground
 191 pet containment systems (but not the collars); storage buildings on permanent foundations and docks/piers on
 192 permanent foundations. A "Fixture" does not include trade fixtures owned by tenants of the Property.

193 **CAUTION: Exclude fixtures not owned by Seller such as rented fixtures and tenant's trade fixtures.**

194 ■ **MATERIAL ADVERSE FACT:** A "Material Adverse Fact" means an Adverse Fact that a party indicates is of such
 195 significance, or that is generally recognized by a competent licensee as being of such significance to a reasonable
 196 party, that it affects or would affect the party's decision to enter into a contract or agreement concerning a transaction or
 197 affects or would affect the party's decision about the terms of such a contract or agreement.

198 ■ **PERSON ACTING ON BEHALF OF BUYER:** "Person Acting on Behalf of Buyer" shall mean any person joined in
 199 interest with buyer, or otherwise acting on behalf of buyer, including but not limited to buyer's immediate family, agents,
 200 employees, directors, managers, members, officers, owners, partners, incorporators and organizers, as well as any and all
 201 corporations, partnerships, limited liability companies, trusts or other entities created or controlled by, affiliated with or
 202 owned by buyer, in whole or in part whether created before or after expiration of this Listing.

203 ■ **PROPERTY:** Unless otherwise stated, "Property" means the real estate described at lines 2-4.

204 ■ **PROTECTED BUYER:** Means a buyer who personally, or through any Person Acting on Behalf of Buyer, during the term of
 205 this Listing:

- 206 1) Delivers to Seller or the Firm or its agents a written offer to purchase, exchange or option on the Property;
- 207 2) Views the Property with Seller or negotiates directly with Seller by communicating with Seller regarding any potential
 208 terms upon which the buyer might acquire an interest in the Property; or
- 209 3) Attends an individual showing of the Property or communicates with agents of the Firm or cooperating firms regarding
 210 any potential terms upon which the buyer might acquire an interest in the Property, but only if the Firm or its agents
 211 deliver the buyer's name to Seller, in writing, no later than three days after the earlier of expiration or termination (lines
 212 301-311) of the Listing. The requirement in 3), to deliver the buyer's name to Seller in writing, may be fulfilled as
 213 follows:
 - 214 a) If the Listing is effective only as to certain individuals who are identified in the Listing, by the identification of the
 215 individuals in the Listing; or,
 - 216 b) If a buyer has requested that the buyer's identity remain confidential, by delivery of a written notice identifying the
 217 firm or agents with whom the buyer negotiated and the date(s) of any individual showings or other negotiations.

218 A Protected Buyer also includes any Person Acting on Behalf of Buyer joined in interest with or otherwise acting on
 219 behalf of a Protected Buyer, who acquires an interest in the Property during the extension of listing period as noted on
 220 lines 298-302.

221 **SELLER DISCLOSURE REPORT** Seller agrees to complete the disclosure report provided by the Firm to the best of
 222 Seller's knowledge. Seller agrees to amend the report should Seller learn of any Defect(s) after completion of the report
 223 but before acceptance of a buyer's offer to purchase. Seller authorizes the Firm and its agents to distribute the report to
 224 all interested parties and their agents inquiring about the Property. Seller acknowledges that the Firm and its agents
 225 have a duty to disclose all Material Adverse Facts as required by law.

226 **SELLER REPRESENTATIONS REGARDING DEFECTS** Seller represents to the Firm that as of the date of this Listing,
 227 Seller has no notice or knowledge of any Defects affecting the Property other than those noted on Seller's disclosure
 228 report or written response.

229 **WARNING: IF SELLER REPRESENTATIONS ARE INCORRECT OR INCOMPLETE, SELLER MAY BE LIABLE FOR**
 230 **DAMAGES AND COSTS.**

231 **SELLER COOPERATION WITH MARKETING EFFORTS** Seller agrees to cooperate with the Firm in the Firm's
 232 marketing efforts and to provide the Firm with all records, documents and other material in Seller's possession or control
 233 which are required in connection with the sale. Seller authorizes the Firm to do those acts reasonably necessary to
 234 effect a sale and Seller agrees to cooperate fully with these efforts which may include use of a multiple listing service,
 235 Internet advertising or a lockbox system at the Property. Seller shall promptly refer all persons making inquiries
 236 concerning the Property to the Firm and notify the Firm in writing of any potential buyers with whom Seller negotiates or
 237 who view the Property with Seller during the term of this Listing.

238 **COOPERATION, ACCESS TO PROPERTY OR OFFER PRESENTATION** The parties agree that the Firm and its
 239 agents will work and cooperate with other firms in marketing the Property, including firms acting as subagents (other
 240 firms engaged by the Firm - see lines 132-136) and firms representing buyers. Cooperation includes providing access to
 241 the Property for showing purposes and presenting offers and other proposals from these firms to Seller. Note any firms
 242 with whom the Firm shall not cooperate, any firms or agents or buyers who shall not be allowed to attend showings, and
 243 the specific terms of offers which should not be submitted to Seller: _____
 244 _____

245 **EXCLUSIONS** All persons who may acquire an interest in the Property who are Protected Buyers under a prior listing
 246 contract are excluded from this Listing to the extent of the prior firm's legal rights, unless otherwise agreed to in writing.
 247 Within seven days of the date of this Listing, Seller agrees to deliver to the Firm a written list of all such Protected Buyers.
 248 **NOTE: If Seller fails to timely deliver this list to the Firm, Seller may be liable to the Firm for damages and costs.**
 249 The following other buyers _____

250 _____ are excluded from this Listing until _____
 251 [INSERT DATE]. These other buyers are no longer excluded from this Listing after the specified date unless, on or before
 252 the specified date, Seller has either accepted a written offer from the buyer or sold the Property to the buyer.

253 **DELIVERY OF DOCUMENTS AND WRITTEN NOTICES** Unless otherwise stated in this Listing, delivery of
 254 documents and written notices to a party shall be effective only when accomplished by one of the methods specified at
 255 lines 256-275.

256 (1) Personal Delivery: giving the document or written notice personally to the party, or the party's recipient for delivery if
 257 named at line 258 or 259.

258 Seller's recipient for delivery (optional): Brent Sutherland

259 Firm's recipient for delivery (optional): William Mears

260 (2) Fax: fax transmission of the document or written notice to the following telephone number:

261 Seller: (_____) _____ Firm: (_____) _____

262 (3) Commercial Delivery: depositing the document or written notice fees prepaid or charged to an account with a
 263 commercial delivery service, addressed either to the party, or to the party's recipient for delivery if named at line 258 or
 264 259, for delivery to the party's delivery address at line 268 or 269.

265 (4) U.S. Mail: depositing the document or written notice postage prepaid in the U.S. Mail, addressed either to the
 266 party, or to the party's recipient for delivery if named at line 258 or 259 for delivery to the party's delivery address at line
 267 268 or 269.

268 Delivery address for Seller: _____

269 Delivery address for Firm: _____

270 (5) E-Mail: electronically transmitting the document or written notice to the party's e-mail address, if given below at
 271 line 274 or 275. If this is a consumer transaction where the property being purchased or the sale proceeds are used
 272 primarily for personal, family or household purposes, each consumer providing an e-mail address below has first
 273 consented electronically as required by federal law.

274 E-Mail address for Seller: Brent.Sutherland@co.rock.wi.us

275 E-Mail address for Firm: bill@mcquiremears.com

276 **NON-DISCRIMINATION** Seller and the Firm and its agents agree that they will not discriminate against any
277 prospective buyer on account of race, color, sex, sexual orientation as defined in Wisconsin Statutes, Section
278 111.32 (13m), disability, religion, national origin, marital status, lawful source of income, age, ancestry, family
279 status, status as a victim of domestic abuse, sexual assault, or stalking, or in any other unlawful manner.

280 **EARNEST MONEY** If the Firm holds trust funds in connection with the transaction, they shall be retained by the Firm in the
281 Firm's trust account. The Firm may refuse to hold earnest money or other trust funds. Should the Firm hold the earnest money,
282 the Firm shall hold and disburse the earnest money funds in accordance with Wis. Stat. Ch. 452 and Wis. Admin. Code
283 Ch. REEB 18. If the transaction fails to close and the Seller requests and receives the earnest money as the total
284 liquidated damages, then upon disbursement to Seller, the earnest money shall be paid first to reimburse the Firm for cash
285 advances made by the Firm on behalf of Seller and one half of the balance, but not in excess of the agreed commission, shall
286 be paid to the Firm as full commission in connection with said purchase transaction and the balance shall belong to Seller. This
287 payment to the Firm shall not terminate this Listing.

288 **OPEN HOUSE AND SHOWING RESPONSIBILITIES** Seller is aware that there is a potential risk of injury, damage
289 and/or theft involving persons attending an "individual showing" or an "open house." Seller accepts responsibility for
290 preparing the Property to minimize the likelihood of injury, damage and/or loss of personal property. Seller agrees to
291 hold the Firm and its agents harmless for any losses or liability resulting from personal injury, property damage, or theft
292 occurring during "individual showings" or "open houses" other than those caused by the negligence or intentional
293 wrongdoing of the Firm or its agents. Seller acknowledges that individual showings and open houses may be conducted
294 by licensees other than the Firm, that appraisers and inspectors may conduct appraisals and inspections without being
295 accompanied by agents of the Firm or other licensees, and that buyers or licensees may be present at all inspections
296 and testing and may photograph or videotape Property unless otherwise provided for in additional provisions at lines
297 320-331 or in an addendum per lines 332-337.

298 **EXTENSION OF LISTING** The Listing term is extended for a period of one year as to any Protected Buyer. Upon
299 receipt of a written request from Seller or a firm that has listed the Property, the Firm agrees to promptly deliver to Seller
300 a written list of those buyers known by the Firm and its agents to whom the extension period applies. Should this Listing
301 be terminated by Seller prior to the expiration of the term stated in this Listing, this Listing shall be extended for
302 Protected Buyers, on the same terms, for one year after the Listing is terminated (lines 303-311).

303 **TERMINATION OF LISTING** Neither Seller nor the Firm has the legal right to unilaterally terminate this Listing absent a
304 material breach of contract by the other party. Seller understands that the parties to the Listing are Seller and the Firm.
305 Agents for the Firm do not have the authority to enter into a mutual agreement to terminate the Listing, amend the
306 commission amount or shorten the term of this Listing, without the written consent of the agent(s)' supervising broker. Seller
307 and the Firm agree that any termination of this Listing by either party before the date stated on line 339 shall be
308 effective by the Seller only if stated in writing and delivered to the Firm in accordance with lines 253-275 and effective
309 by the Firm only if stated in writing by the supervising broker and delivered to Seller in accordance with lines 253-275.

310 **CAUTION: Early termination of this Listing may be a breach of contract, causing the terminating party to**
311 **potentially be liable for damages.**

312 **DISPUTE RESOLUTION** The Parties understand that if there is a dispute about this Listing or an alleged breach, and
313 the parties cannot resolve the dispute by mutual agreement, the parties may consider judicial resolution in court or may
314 consider alternative dispute resolution. Alternative dispute resolution may include mediation and binding
315 arbitration. Should the parties desire to submit any potential dispute to alternative dispute resolution, it is recommended
316 that the parties add such in Additional Provisions or in an Addendum.

317 **NOTICE ABOUT SEX OFFENDER REGISTRY** You may obtain information about the sex offender registry and
318 persons registered with the registry by contacting the Wisconsin Department of Corrections on the Internet at
319 <http://www.doc.wi.gov> or by telephone at (608)240-5830.

320 **ADDITIONAL PROVISIONS** _____
 321 _____
 322 _____
 323 _____
 324 _____
 325 _____
 326 _____
 327 _____
 328 _____
 329 _____
 330 _____
 331 _____

332 **ADDENDA** The attached addenda _____
 333 _____
 334 _____
 335 _____
 336 _____
 337 _____ is/are made part of this Listing.

338 **TERM OF THE CONTRACT** From the 16th day of March, 2021
 339 up to the earlier of midnight of the 15th day of March, 2022, or the
 340 conveyance of the entire Property.

341 **BY SIGNING BELOW, SELLER ACKNOWLEDGES RECEIPT OF A COPY OF THIS LISTING CONTRACT AND**
 342 **THAT HE/SHE HAS READ ALL 7 PAGES AS WELL AS ANY ADDENDA AND ANY OTHER DOCUMENTS**
 343 **INCORPORATED INTO THE LISTING.**

344 All persons signing below on behalf of a Seller Entity represent that they have legal authority to sign for and bind the Entity.

345 Rock County
 346 Seller Entity Name (if any) Print Name ▲

347 (x) _____ Date ▲
 348 Authorized Signature ▲
 349 Print Name & Title Brent Sutherland

350 _____
 351 Seller Entity Name (if any) ▲

352 (x) _____ Date ▲
 353 Authorized Signature ▲
 354 Print Name & Title

355 (x) _____ Date ▲
 356 Seller's Signature ▲ Print Name

357 (x) _____ Date ▲
 358 Seller's Signature ▲ Print Name

359 (x) _____ Date ▲
 360 Seller's Signature ▲ Print Name

361 (x) _____ Date ▲
 362 Seller's Signature ▲ Print Name

363 MLM, LLP dba Coldwell Banker Commercial
 364 Firm Name ▲

365 (x) _____ Date ▲
 366 Agent's Signature ▲  Print Name William Mears 3/9/2021